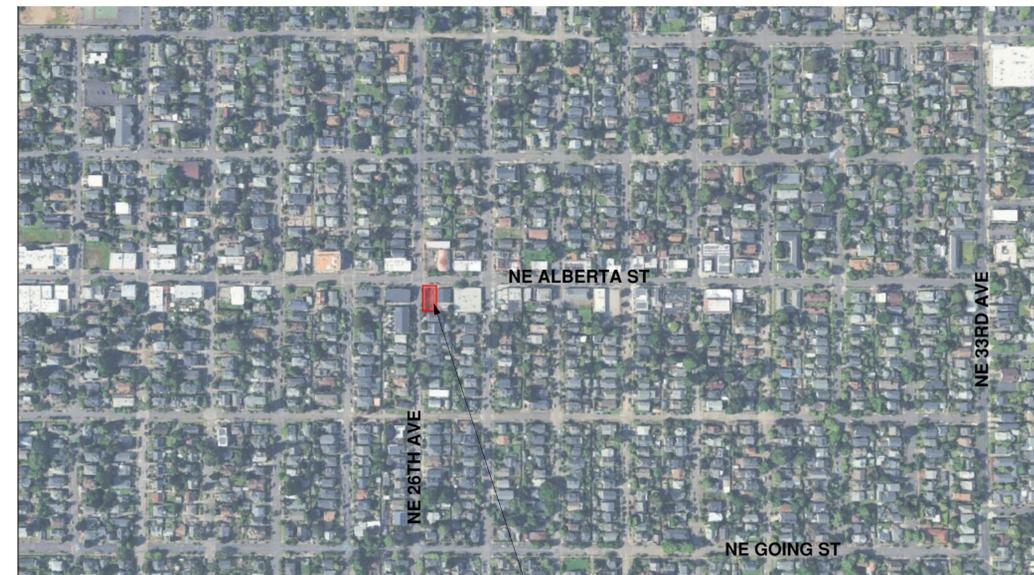


PROVISION TOWNHOMES @ NE 26TH AVE

4990 NE 26TH AVE. PORTLAND, OR. 97211

VICINITY MAP



SITE LOCATION: 4990 NE 26TH AVE.



PROJECT GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED VERSION OF 2023 OREGON RESIDENTIAL SPECIALTY CODE, AND ANY APPLICABLE LOCAL OR COUNTY JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL TAKE ALL PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THESE DRAWINGS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CROSS CHECK DETAILS AND DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE STRUCTURAL AND OTHER DRAWINGS AS APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES, INCLUDING ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL REQUIREMENTS.
- HEATING/COOLING SPECIFICATIONS AND DRAWINGS SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR AS REQUIRED BY BUILDING OFFICIALS.
- HEATING LOSS AND ENERGY CALCULATIONS SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR, OR OTHER QUALIFIED PROFESSIONAL AS REQUIRED BY BUILDING OFFICIALS.
- TRUSS MANUFACTURER SHALL PROVIDE ALL DRAWINGS, SPECIFICATIONS AND ENGINEERING AS REQUIRED BY BUILDING OFFICIALS.
- MECHANICAL, PLUMBING AND ELECTRICAL SPECIFICATIONS SHALL BE PROVIDED BY THE RESPECTIVE TRADES, AS REQUIRED BY BUILDING OFFICIALS.
- THE DESIGNER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER CONTRACT FOR CONSTRUCTION. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONTRACTOR SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND THE CONSTRUCTION DRAWINGS PRIOR TO COMMENCING WORK.
- ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH WORK.

ABBREVIATIONS

ABV. ABOVE	LNDRY LAUNDRY
A/C AIR CONDITIONING	MFG MANUFACTURER
BD BOARD	MIN. MINIMUM
BDRM BEDROOM	MSTR MASTER
BLKG BLOCKING	NTS NOT TO SCALE
BM BEAM	OBS OBSCURE
CANT. CANTILEVER	O.C. ON-CENTER
CFM CUBIC FEET PER MINUTE	OPT. OPTIONAL
C.L. CENTERLINE	PL. PLATE
CLG CEILING	PLYW'D PLYWOOD
CONC. CONCRETE	P.T. PRESSURE TREATED
CSMT CASEMENT	QTY QUANTITY
CTR CENTER	REF. REFRIGERATOR
DBL DOUBLE	REQ. REQUIRED
DIA. DIAMETER	REV REVISION
DIM. DIMENSION	RM ROOM
DN DOWN	R.O. ROUGH OPENING
DR DOOR	S.D. SMOKE DETECTOR
D.W. DISHWASHER	S.H. SINGLE HUNG
ENG. ENGINEER	SHTH SHEATHING
E.W. EACH WAY	SHWR SHOWER
EXT EXTERIOR	SLDR SLIDER
FDN FOUNDATION	SPCS. SPECIFICATIONS
F.F. FINISHED FLOOR	S&R SHELF AND ROD
FLR FLOOR	TEMP TEMPERED
F.P. FIREPLACE	T.G. TONGUE AND GROOVE
FT. FEET	T.O. TOP OF
FTG FOOTING	TYP TYPICAL
FURN. FURNACE	U.N.O. UNLESS NOTED
FXD FIXED	OTHERWISE
GYP GYPSUM	V.T.O.S. VENT TO OUTSIDE
HDR HEADER	W.H. WATER HEATER
HVAC HEATING, VENTILATION & AIR CONDITIONING	W.I.C. WALK IN CLOSET
IN. INCH	WIN WINDOW
JSTS JOISTS	W/ WITH
	WD WOOD

PROJECT CODE CRITERIA

CODE INFORMATION
 ALL WORK SHALL CONFORM TO THE FOLLOWING CODES AND BY ALL OTHER GOVERNING LAWS, JURISDICTIONS, ORDINANCES, AND REGULATIONS
 2023 OREGON RESIDENTIAL SPECIALTY CODE (OSRC)
 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)

DESIGN CRITERIA
 SEISMIC DESIGN: CATEGORY D1
 WIND SPEEDS < OR = TO 95 MPH VASD / 120 MPH VULT
 EXPOSURE: CATEGORY B
 SOIL BEARING CAPACITY: 1500 PSF
 FROST DEPTH: 18 INCHES
 ROOF SNOW LOAD: 25 PSF
 ROOF DEAD LOAD: 15 PSF
 FLOOR LIVE LOAD: 40 PSF
 FLOOR DEAD LOAD: 10 PSF

*STRUCTURES ARE DEPENDENT

ENERGY CODE COMPLIANCE
 ADDITIONAL MEASURES LISTED BELOW PER TABLE N1101.1 (2) OF THE 2023 OSRC.

ADDITIONAL MEASUREMENTS CHOSEN:

ADDITIONAL MEASURE #1:
 HIGH EFFICIENCY HVAC SYSTEM
 A. GAS-FIRED FURNACE OR BOILER AFUE 94 PERCENT, OR
 B. AIR SOURCE HEAT PUMP HSPF 10.0/15.0 SEER COOLING OR 8.5 HSPF2/16.0 SEER2, OR
 C. GROUND SOURCE HEAT PUMP COP 3.5 OR ENERGY STAR RATED

PROJECT INFORMATION

NEIGHBORHOOD: ALBERTA
 COUNTY: MULTOMAH
 ADDRESS: 4990 NE 26TH AVE. PORTLAND, OR 97211
 PROPERTY ID: R668761

LOT SIZE: 2,970 SQ. FT. (.07 ACRES)
 TOTAL BUILDING COVERAGE: 1,958 SQ FT (66% OF LOT)
 MIN. DWELLING UNIT DENSITY: 1 UNIT PER 1,450 SQ FT
 FLOOR AREA RATIO: 2.5 TO 1
 MAX LOT COVERAGE: 100%.
 LANDSCAPE REQUIREMENT: 15% OF LOT SIZE (.15 x 2,970 = 446 SQ. FT. REQUIRED)
 555 SQ FT PROPOSED
 REQUIRED OUTDOOR AREA: 36 SQ FT PER UNIT (< 20,000 SQ FT LOT SIZE)
 99 SQ FT - 199 SQ FT (VARIES) PER UNIT PROPOSED

PROPOSED BUILDING AREAS
 GROUND FLOOR(S): 1,958 SQ. FT.
 UPPER FLOOR(S): 2,525 SQ. FT.
 TOTAL: 4,617 SQ. FT.

CONSTRUCTION TYPE: VB
 OCCUPANCY TYPE: R3 (TOWNHOMES)
 STORIES: 2
 PROPOSED HEIGHT: 29'-6" (45' ALLOWED)
 NUMBER OF UNITS: 4

ZONING: CM2

SETBACKS: 0 FT (STREET LOT LINE)
 10 FT (ABUTTING RE, RM4, RMP, JR)
 GROUND FLOOR WINDOW STANDARD: YES - FRONT SETBACK STANDARD
 5' FROM LOT LINE/WINDOWS @ 25% OF GROUND LEVEL FACADE

IMPERVIOUS AREAS (ON SITE):
 ROOF: 2,570 SQ. FT.
 PATIOS/BIKE PARKING: 533 SQ. FT.
 TOTAL: 3,103 SQ.FT.

THERE ARE NO FIRE SPRINKLERS OR STOARGE TANKS BEING PROPOSED AS PART OF THIS PROJECT

PROJECT DIRECTORY

OWNER
 PROVISION GROUP LLC
 1409 BROADWAY ST
 VANCOUVER, WA 98663
 P: 503.502.9037
 E: KEVIN@PROVISIONGROUP.LLC.COM

DESIGN
 PROVISION GROUP LLC
 1409 BROADWAY ST
 VANCOUVER, WA 98663
 P: 503.502.9037
 E: KEVIN@PROVISIONGROUP.LLC.COM

STRUCTURAL ENGINEER
 SUMMIT ENGINEERING
 PO BOX 50322
 EUGENE, OR 97405
 P: 503.997.2808
 E: JASON@SUMMITENGINEERING.LLC.COM

GENERAL CONTRACTOR
 PROVISION CONSTRUCTION LLC
 1409 BROADWAY ST
 VANCOUVER, WA 98663
 P: 503.502.9037
 E: CONSTRUCTION@PROVISIONGROUP.LLC.COM
 CCB# 245743

DRAWING INDEX

Sheet Number	Sheet Name
GENERAL	
G000	COVER SHEET
G001	BUILDING PERSPECTIVES
ARCHITECTURAL	
A101	SITE PLAN
A102	SITE PLAN - UTILITIES
A201	FLOOR PLAN - LEVEL ONE
A202	FLOOR PLAN - LEVEL TWO
A211	FOUNDATION PLAN
A212	ROOF PLAN
A301	BUILDING ELEVATIONS & SCHEDULES
A302	BUILDING ELEVATIONS
A401	BUILDING SECTIONS
A402	BUILDING SECTIONS
STRUCTURAL	
S1.1	GENERAL STRUCTURAL NOTES
S2.1	FOUNDATION AND MAIN FLOOR FRAMING PLAN
S2.2	UPPER LEVEL AND ROOF FRAMING PLAN
S3.1	LATERAL PLANS
S3.2	STRUCTURAL ELEVATION
S4.1	STRUCTURAL DETAILS
S4.2	STRUCTURAL DETAILS

ASSOCIATED PERMITS/APPLICATIONS TO PROJECT

- PUBLIC RIGHT-OF-WAY IMPROVEMENTS - TH1468
 ALL R.O.W ELEMENTS TO BE CONSTRUCTED UNDER SEPARATE PERMITS
- INDIVIDUAL UNIT PERMITS
 25 035459 000 00 RS - UNIT 1
 25 035471 000 00 RS - UNIT 2
 25 035472 000 00 RS - UNIT 3
 25 035474 000 00 RS - UNIT 4
- SITE DEVELOPMENT PERMIT
 25 035475 000 00 SD

SEPARATE PERMITS FOR PROJECT

- MECHANICAL PERMIT
- ELECTRICAL PERMIT
- PLUMBING PERMIT
- LOW VOLTAGE
- FLOOR TRUSSES

PROVISION GROUP

PROVISION TOWNHOMES @ NE 26TH

PROJECT NUMBER: 2025001

DATE Issue Date

PERMIT DRAWINGS

COVER SHEET

G000

SUBMITTED 08.01.2025

25-035459-000-00-RS



NORTHWEST BUILDING PERSPECTIVE



SOUTHWEST BUILDING PERSPECTIVE



NORTHEAST BUILDING PERSPECTIVE



SOUTHEAST BUILDING PERSPECTIVE

PROVISION
GROUP

PROVISION TOWNHOMES
@ NE 26TH

PROJECT NUMBER: 2025001

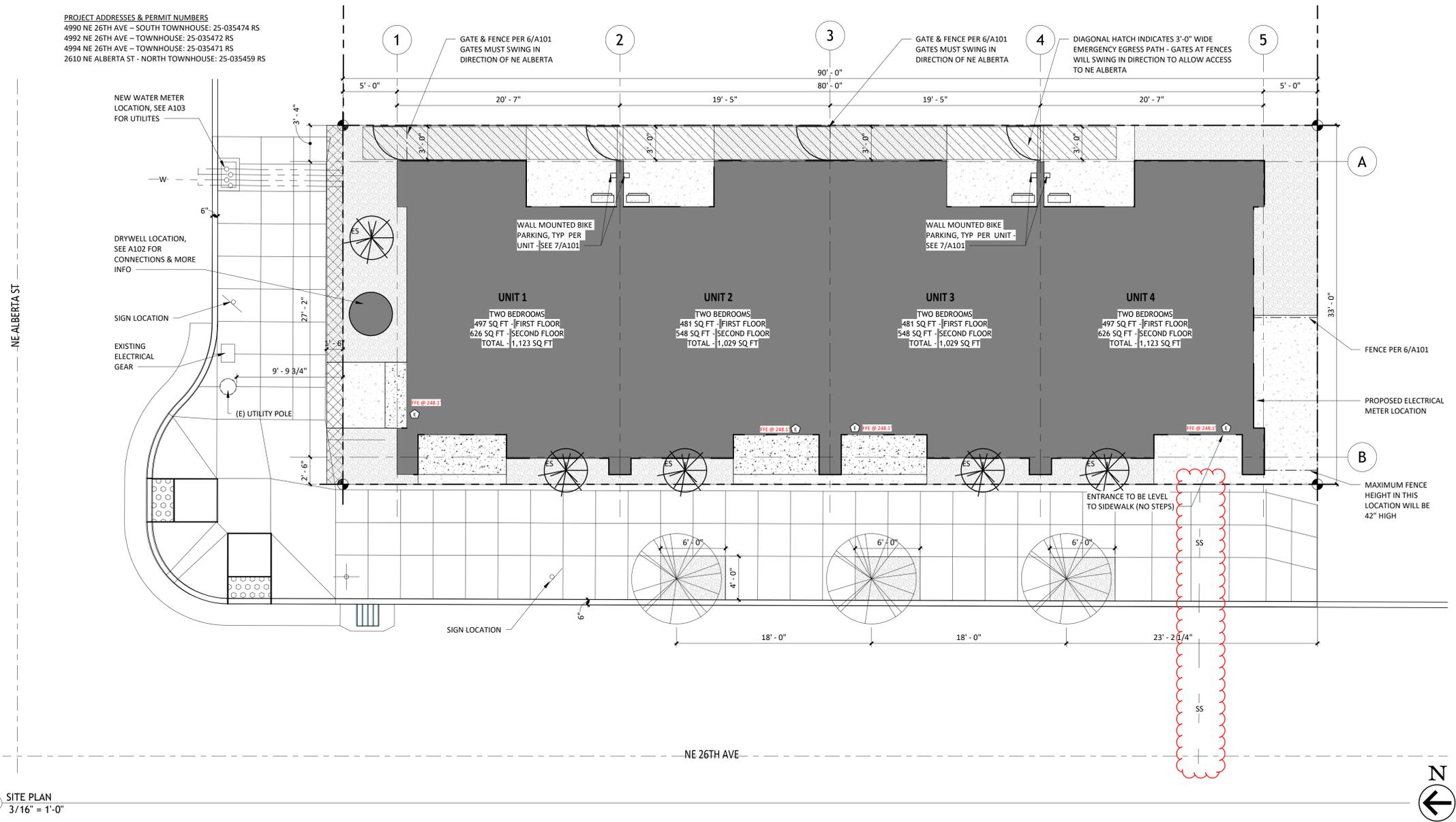
DATE Issue Date

PERMIT
DRAWINGS

BUILDING
PERSPECTIVES

G001

PROJECT ADDRESSES & PERMIT NUMBERS
 4990 NE 26TH AVE - SOUTH TOWNHOUSE: 25-035474 RS
 4992 NE 26TH AVE - TOWNHOUSE: 25-035472 RS
 4994 NE 26TH AVE - TOWNHOUSE: 25-035471 RS
 2610 NE ALBERTA ST - NORTH TOWNHOUSE: 25-035459 RS



1 SITE PLAN
 3/16" = 1'-0"

SITE PLAN NOTES

- ALL SIDEWALKS AND PATIOS TO BE 4" CONC. SLAB ON 4" COMPACTED GRANULAR FILL. SLOPE AWAY FROM STRUCTURE AND DOOR OPENING.
- NO UTILITIES SHALL PASS UNDER OR OVER ANY BUILDING OR STRUCTURE.
- SITE INFORMATION PROVIDED BY COUNTY MAP & OWNER VERIFICATION. ALL SITE CONDITIONS TO BE VERIFIED PRIOR TO CONSTRUCTION. IF DISCREPANCIES ARE DISCOVERED, NOTIFY OWNER.
- FINAL PLACEMENT OF BUILDING SHALL BE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL HARDSCAPE DRAINAGE TO BE SLOPED TO LANDSCAPE OR CITY DRYWELL WHERE APPLICABLE.
- CONFIRM ALL UTILITIES AND TRENCH LOCATIONS PRIOR TO CONSTRUCTION.
- TEMPORARY EXCAVATION FOR FOUNDATION CAN BE COMPLETED WITHIN THE PROPERTY LINE WITH SLOPES THAT ARE NOT STEEPER THAN 1H/1V. IF SLOPES ARE STEEPER THAN 1H/1V ARE NECESSARY, THEN A SOILS REPORT PROVIDING RECOMMENDATIONS FOR EXCAVATION AND/OR A TEMPORARY CONSTRUCTION EASEMENT GRANTED BY THE ADJOINING PROPERTY OWNERS WILL BE REQUIRED.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. CONNECT UTILITIES TO EXISTING LINES AS INDICATED ON PLANS.
- CONSTRUCTION DEWATERING NOT AUTHORIZED. IF REQUIRED: BATCH DISCHARGE AUTHORIZATION PERMIT IS REQUIRED FOR TEMPORARY DISCHARGES OF GROUNDWATER OR CONSTRUCTION RELATED STORMWATER (CHANNELIZED, COLLECTED AND/OR PUMPED) TO THE CITY'S PUBLIC SANITARY OR STORM SEWER SYSTEM. IF DE-WATERING TO A CITY SANITARY OR STORM SEWER SYSTEM IS NECESSARY, PRE-AUTHORIZATION MUST BE OBTAINED FROM THE BUREAU OF ENVIRONMENTAL SERVICES AT BATCHDISCHARGE@PORTLANDOREGON.GOV (OR CALL 503-823-7026).
- ALL STREET TREE PERMITTING IS DEFERRED TO PUBLIC WORKS PERMIT TH1468

SITE PLAN LEGEND

(N)W	NEW WATER LINE
(N)SS	NEW SANITARY SEWER LINE
[Hatched Box]	ZONING/REQUIRED SETBACKS
[Stippled Box]	LANDSCAPING
DS	DOWNSPOUT
[Rectangular Box]	EXTERIOR HEAT PUMP
[Hexagon]	UNIT ENTRY
[Dashed Line]	STORMWATER LINES
[Wavy Line]	6'-0" HIGH WOOD FENCE
[Dotted Line]	PROPERTY LINE

ASSOCIATED PERMITS/APPLICATIONS TO PROJECT

- PUBLIC RIGHT-OF-WAY IMPROVEMENTS - TH1468
- ALL R.O.W ELEMENTS TO BE CONSTRUCTED UNDER SEPARATE PERMITS
- INDIVIDUAL UNIT PERMITS
- 25 035459 000 00 RS - UNIT 1
- 25 035471 000 00 RS - UNIT 2
- 25 035472 000 00 RS - UNIT 3
- 25 035474 000 00 RS - UNIT 4
- SITE DEVELOPMENT PERMIT
- 25 035475 000 00 SD

LANDSCAPE NOTES & LEGEND

- STREET TREES MUST BE A MINIMUM OF 5'-0" FROM THE NEAREST EDGE OF WATER PIPE, VALVE, METER BOX AND 10'-0" FROM A FIRE HYDRANT.
- 1 & 2 FAMILY STREET TREE PLANTING REQUIREMENTS: TWO 1-1/2" CALIPER STREET TREES REQUIRED. PLANT TREES PER URBAN FORESTRY STANDARDS
- THERE ARE NO EXISTING TREES 12" OR LARGER ON THE SITE

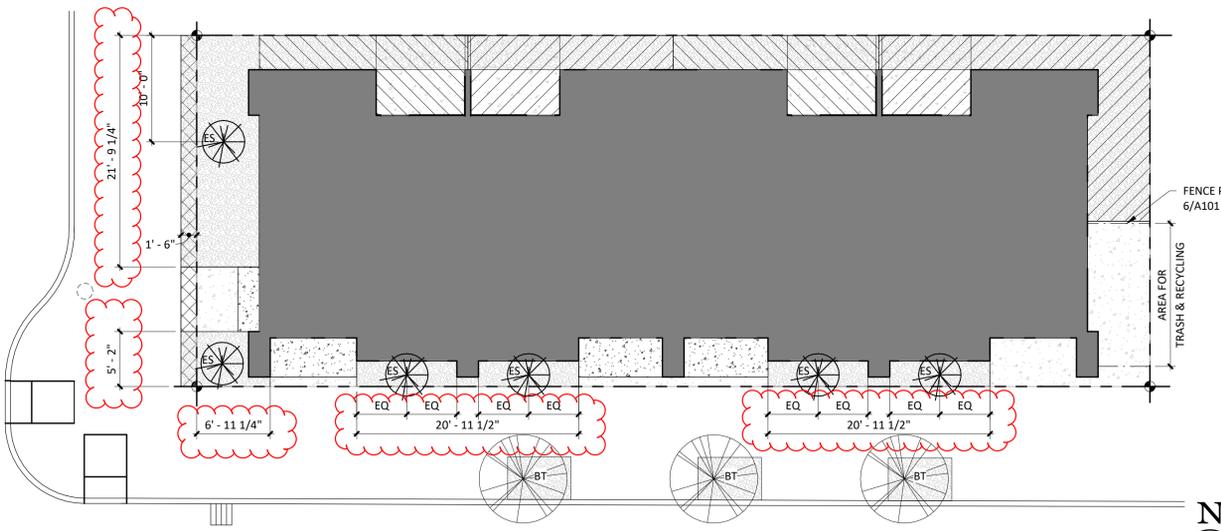
BT PROPOSED STREET TREE - TUPELO-RED RAGE BLACK TUPELO (NYSSA SYLVATICA 'HAYMANRED') MIN. 5'-0" TALL AND FULLY BRANCHED AT TIME OF PLANTING.

ES PROPOSED LANDSCAPE TREE - ELM-EMERALD SUNSHINE ELM (ULMUS PROPINQUA) - MEDIUM, MIN. 5'-0" TALL AND FULLY BRANCHED AT TIME OF PLANTING.

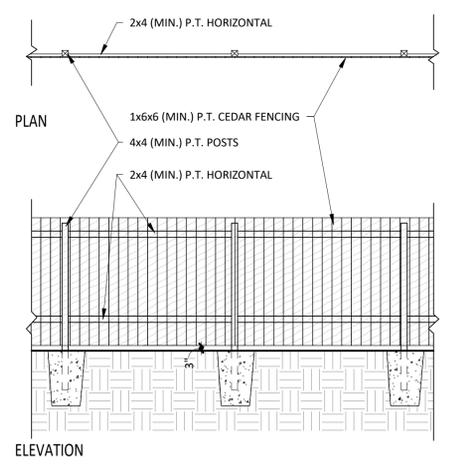
PER CITY OF PORTLAND REQUIREMENTS, THESE AREAS WILL MEET L1 REQUIREMENTS FOR AREAS LESS THAN 30' DEEP AND WILL HAVE A SMALL TREE EVERY 15' LINEAL FEET AND GROUND COVER THAT IS PLANTED WITH 4" MINIMUM POTS PLANTED IN A TRIANGULAR PATTERN 12 INCHES ON CENTER - GOLDEN YELLOW SWEET FLAG (ACORUS GRAMINEUS) @ 400 SQ. FT.

ZONING REQUIREMENTS

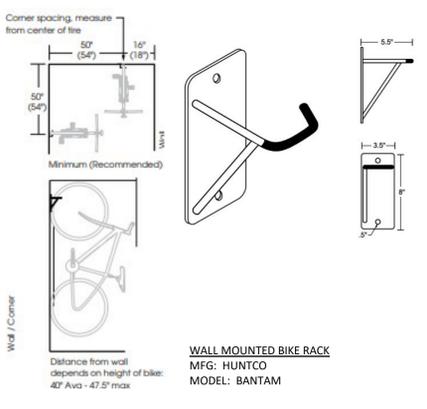
REQUIRED OUTDOOR AREA: EACH UNIT REQUIRED TO PROVIDE 36 SQ FT OF PERSONAL OUTDOOR SPACE. SPACES THAT ARE INDICATED ON THE PLAN RANGE FROM 99 SQ FT - 199 SQ FT.



4 SITE PLAN-LANDSCAPING & ZONING
 1/8" = 1'-0"



6 PROPERTY LINE FENCE
 1/4" = 1'-0"



7 BIKE PARKING DETAIL
 NOT TO SCALE

City of Portland
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PROVISION GROUP

PROVISION TOWNHOMES @ NE 26TH

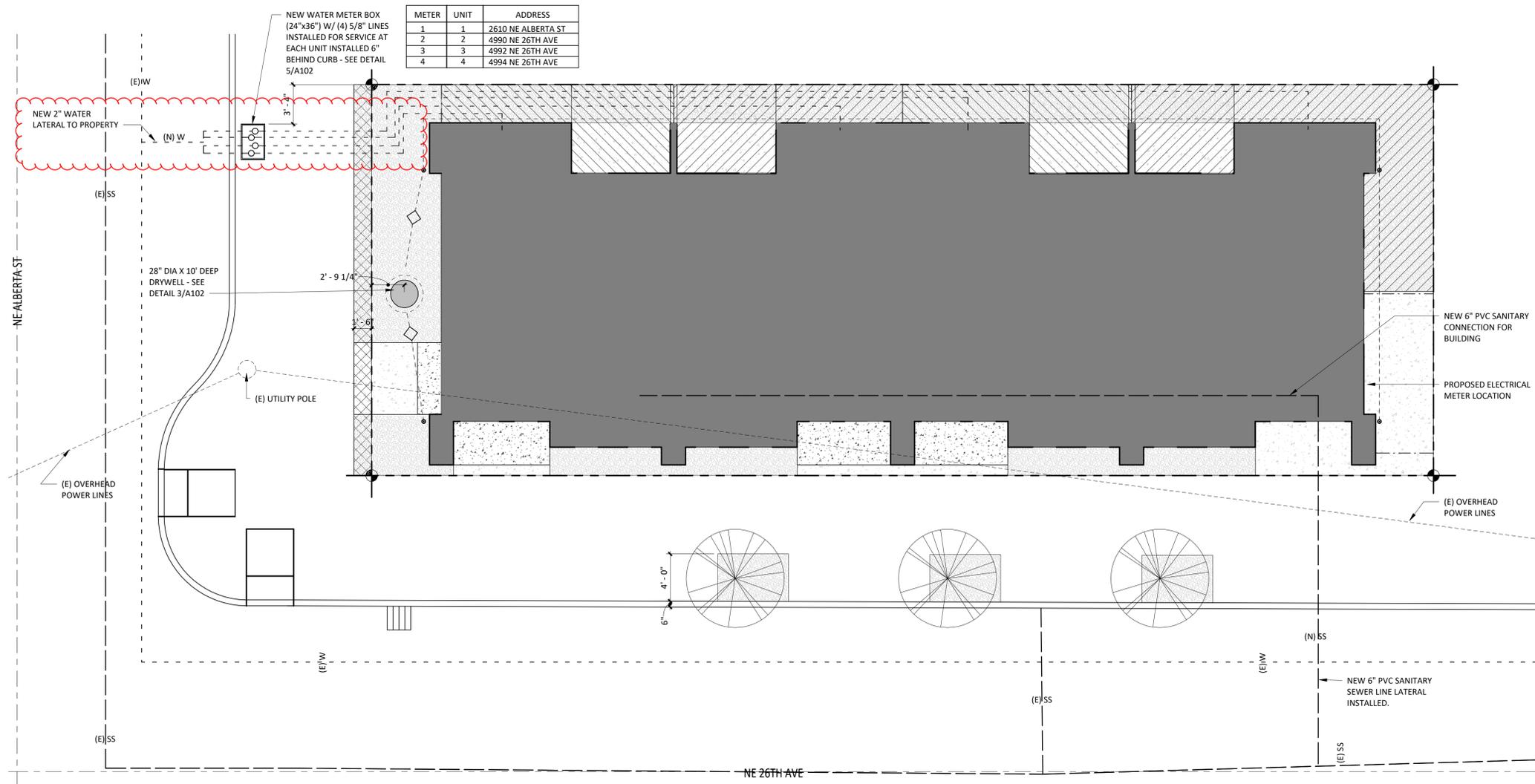
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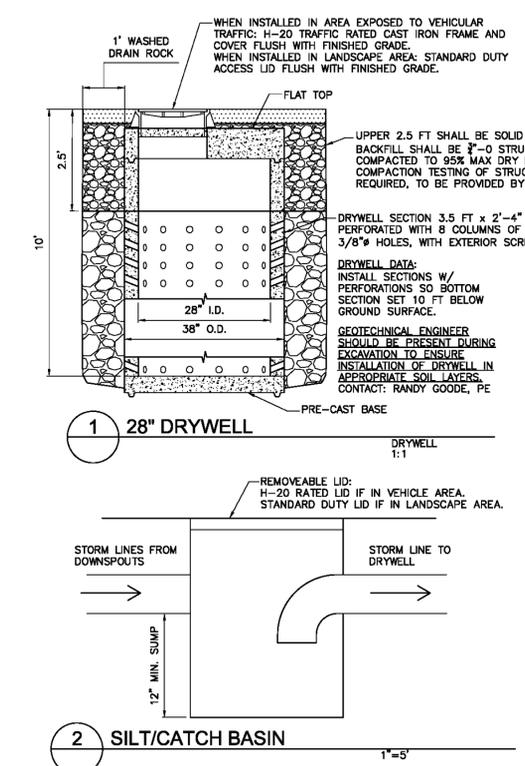
PERMIT DRAWINGS

SITE PLAN

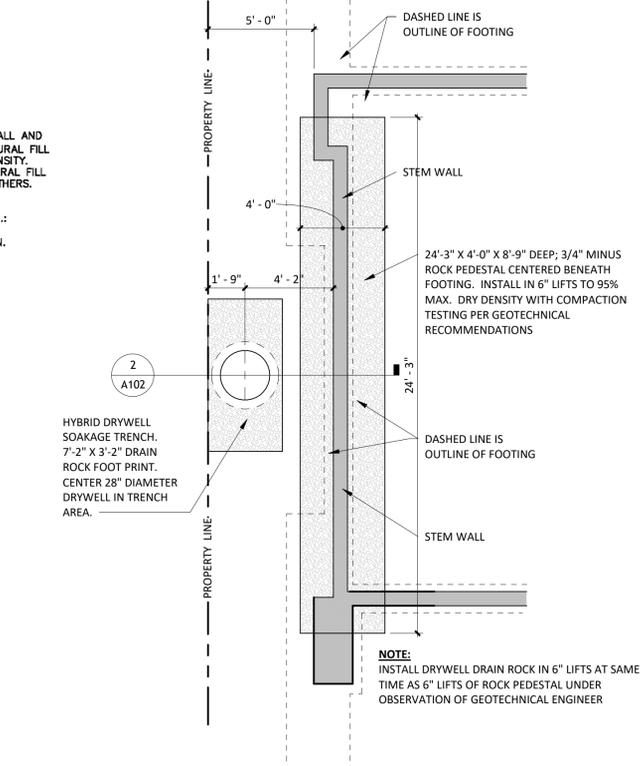
A101



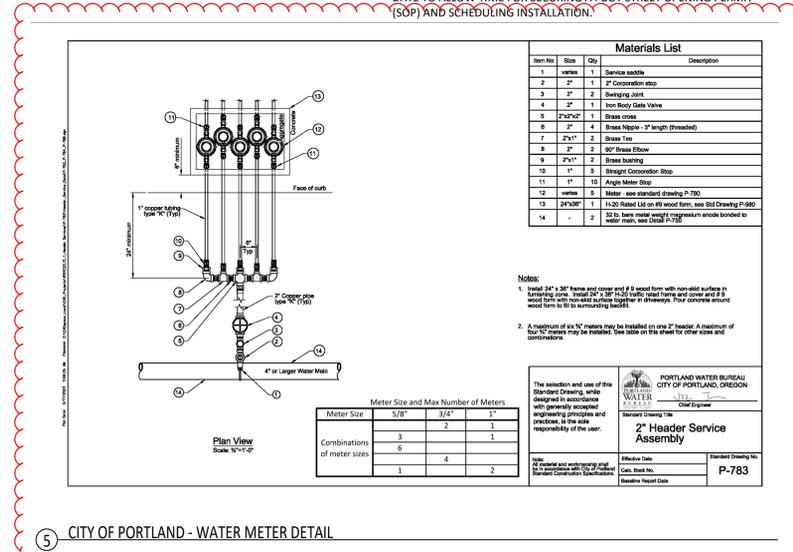
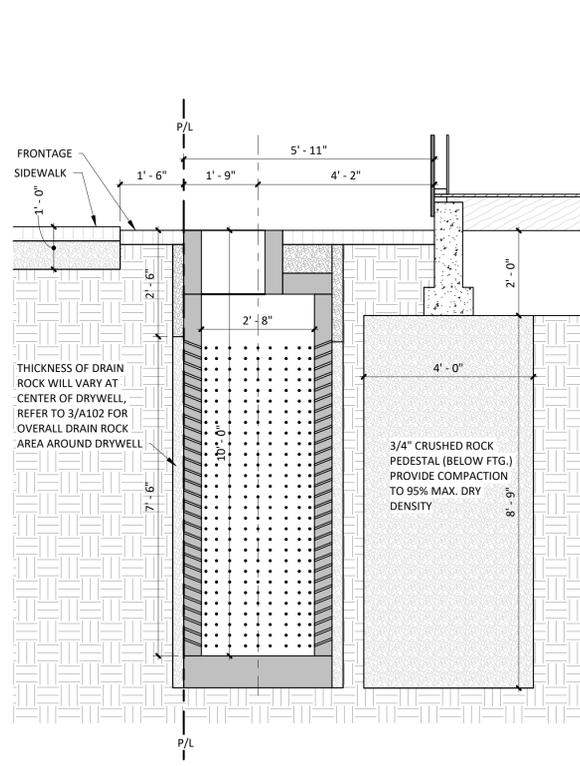
1 SITE PLAN-UTILITIES
3/16" = 1'-0"



2 SILT/CATCH BASIN
1/2" = 1'-0"



3 DRYWELL DETAIL
1/2" = 1'-0"



UTILITY NOTES

- SEPARATION BETWEEN SANITARY SEWER AND WATER LINE SHOULD BE 5'-0" MIN., OUTSIDE FACE TO OUTSIDE FACE
- SEPARATION BETWEEN UNDERGROUND ELECTRICAL SERVICE LINE AND WATER LINE SHOULD BE MINIMUM OF 4'-0"
- SEPARATION OF MULTIPLE WATER SERVICES ON ONE TAX LOT SHOULD BE 3'-0" MIN.
- SEPARATION OF WATER SERVICE AND PROPERTY LINES SHOULD BE 1'-6" MIN.
- ALL OTHER UNDERGROUND UTILITIES NEED TO HAVE 3'-0" MIN. SEPARATION FROM WATER LINE.
- CONFIRM ALL UTILITIES AND TRENCH LOCATIONS PRIOR TO CONSTRUCTION
- BES PRIVATE STORMWATER FACILITY INSPECTION REQUIRED
NOTE: BES APPROVAL REQUIRED PRIOR TO OCCUPANCY TO SCHEDULE, DIAL IVR AT 503-823-7000. REQUEST #487 BES ON-SITE STORMWATER FACILITY EVAL. NEED ASSISTANCE? CONTACT BES AT 503-823-7761 OPTION 2.
- DRYWELLS
NOTE: REQUIRED INSPECTIONS PRIOR TO COVER INSPECTION #1: LOCATION, SIZE, DEPTH, ROCK.
- SEPARATE BDS COMMERCIAL PLUMBING PERMIT REQUIRED FOR INSPECTION OF DOWNSPOUTS AND PRIVATE STORM SEWER PIPING OUTSIDE OF STORM FACILITY
- SEPARATE BES SEWER CONNECTION UC PERMIT REQUIRED WORK IN THE PUBLIC RIGHT OF WAY CALL 503-823-1026/EMAIL URUCPERMITS@PORTLANDOREGON.GOV WEB WWW.PORTLAND.GOV & SEARCH "UC"
- THE PRIVATE PLUMBING LINES WILL BE INSTALLED AND CAN BE REPAIRED WITHOUT CONVENTIONAL OPEN TRENCH EXCAVATION WITHIN ANY PORTION OF THE EASEMENT AREA THAT IS LESS THAN 10'-0" WIDE. PROPOSED LOT LINES AND EASEMENTS SHOWN ARE FOR REFERENCE ONLY AND ARE NOT APPROVED AS PART OF THIS BUILDING PERMIT. IF THE SITE IS DIVIDED IN THE FUTURE THROUGH A MIDDLE HOUSING LAND DIVISION, LOT LINES AND EASEMENTS WILL BE ESTABLISHED THROUGH THAT REVIEW.
- CONTRACTOR TO VERIFY EXISTING SEWER BRANCH EXTENDS BEYOND CURB ONTO PROPERTY. CONTRACTOR TO CONFIRM LATERAL AND PASS INSPECTION UNDER SEPARATE SEWER CONNECTION PERMIT. BES REQUIRES 6" DIAMETER (PVC OR HDPE) SEWER LATERAL IN PUBLIC R.O.W. NO A.B.S. PIPE ALLOWED IN R.O.W.
- BES STORMWATER FACILITY INSPECTION REQUIRED AT TIME OF CONSTRUCTION. SEE BES INSPECTION CARD. TO SCHEDULE, CONTACT THE AUTOMATED INSPECTION REQUEST (IVR) SYSTEM AT 503-823-7000 AND REQUEST INSPECTION #487 BES ON-SITE STORMWATER FACILITY EVAL OR, CONTACT BES AT 503-823-7761 FOR ASSISTANCE.
- SEPARATE BES SEWER CONNECTION PERMIT REQUIRED, WORK IN PUBLIC RIGHT OF WAY (PUBLIC EASEMENT) CALL 503-823-1026. EMAIL: BESTRADES@PORTLANDOREGON.GOV
- DEQ RULE AUTHORIZATION REQUIRED FOR PRIVATE STORM FACILITY
- PWB GENERAL NOTES:
WATER BUREAU TO PERFORM ALL WATER WORK IN THE PUBLIC RIGHT-OF-WAY UP TO THE POINT OF CONNECTION. SERVICES ARE INSTALLED AT A DEPTH OF 3' - 4' WITH A SHORT STUB FOR PRIVATE CONNECTION. CONTRACTOR IS RESPONSIBLE TO MAKE PRIVATE CONNECTION AND BACKFILL TO PROPERTY. WATER BUREAU WILL BACKFILL RIGHT-OF-WAY EXCAVATION. PERMITTEE/CONTRACTOR IS RESPONSIBLE FOR MARKING LOCATION, FINISHED GRADE AND CURB ALIGNMENT. MARKED LOCATIONS MUST MATCH THE ISSUED BUILDING PERMIT AND APPROVED PUBLIC WORKS PLANS PRIOR TO INSTALLATION. CHANGES OR MODIFICATIONS REQUIRE A REVISION TO THE PERMIT. THE APPLICANT IS RESPONSIBLE FOR THE ENTIRE COST OF RELOCATING ANY INSTALLATION MARKED IN ERROR. IF SITE CONDITIONS ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN ON APPROVED PLANS, APPLICANT MAY BE RESPONSIBLE FOR ADDITIONAL FEES.
TO SCHEDULE INSTALLATION:
*NOTE THAT BUILDING PERMIT MUST BE ISSUED, AND ANY RELATED 90% PUBLIC WORKS PLANS APPROVED BEFORE SCHEDULING SERVICE INSTALLATION. FOR 2" AND SMALLER SERVICES PLEASE WAIT 2 BUSINESS DAYS AFTER PAYMENT BEFORE CONTACTING WBISTATED@PORTLANDOREGON.GOV OR 503-823-1526. NORMAL INSTALLATION TIME IS 3 WEEKS. FOR 3" AND LARGER SERVICES AND HYDRANTS CONTACT WATERSERVICE@PORTLANDOREGON.GOV OR 503-823-7368 AT LEAST 4-7 WEEKS IN ADVANCE OF DESIRED INSTALLATION DATE TO ALLOW TIME FOR SECURING A PBOT STREET OPENING PERMIT (SOP) AND SCHEDULING INSTALLATION.

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PROVISION GROUP

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PROVISION TOWNHOMES @ NE 26TH

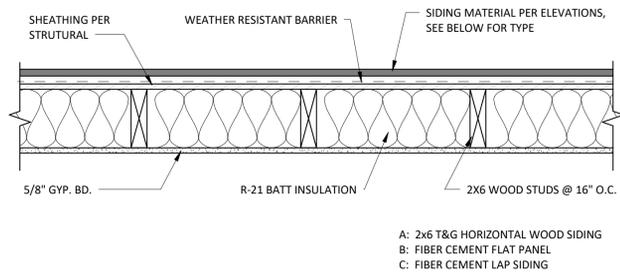
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PERMIT DRAWINGS

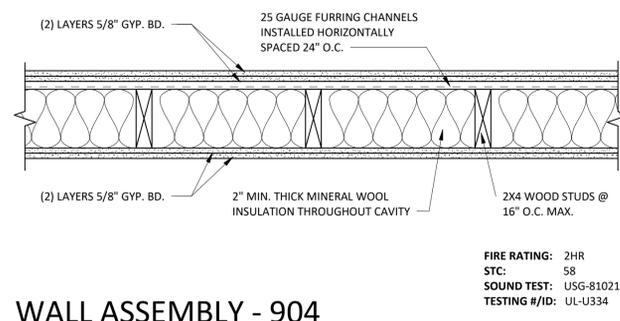
SITE PLAN - UTILITIES

A102



WALL ASSEMBLY - 901

NTS



WALL ASSEMBLY - 904

NTS

UNIT INFORMATION

UNIT 1
 FIRST LEVEL: 497 SQ. FT.
 SECOND LEVEL: 626 SQ. FT.
TOTAL: 1,123 SQ. FT.

UNIT 2
 FIRST LEVEL: 481 SQ. FT.
 SECOND LEVEL: 548 SQ. FT.
TOTAL: 1,029 SQ. FT.

UNIT 3
 FIRST LEVEL: 481 SQ. FT.
 SECOND LEVEL: 548 SQ. FT.
TOTAL: 1,029 SQ. FT.

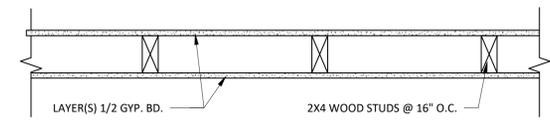
UNIT 4*
 FIRST LEVEL: 497 SQ. FT.
 SECOND LEVEL: 626 SQ. FT.
TOTAL: 1,123 SQ. FT.

*UNIT ACCOMODATES VISIBILITY

NOTE:
 ABOVE NUMBERS REFLECT AREA OF INTERIOR SPACES FROM EXTERIOR FINISH TO CENTER OF DEMISING WALL/EXTERIOR FINISH

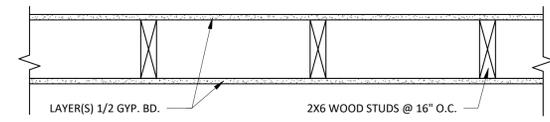
FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING/STUD U.N.O.
- PROVIDE A SMOKE DETECTOR IN EVERY BEDROOM. PROVIDE A COMBINATION CARBON MONOXIDE / SMOKE DETECTOR TO THE COMMON SPACE (HALLWAY, BONUS ROOM, ETC) ON EACH FLOOR. CO/SD DETECTOR TO BE WITHIN 14' OF EACH BEDROOM ENTRANCE. MULTIPLE CO/SD DETECTORS MAY BE NECESSARY ON A SINGLE FLOOR PER PLAN LAYOUT. SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WILL PREVENT THE PLACEMENT OF A REQUIRED SMOKE ALARM.
- ALL INTERIOR WALL SURFACES AND CEILINGS TO BE SHEETROCKED WITH 1/2" GYP. BD., U.N.O. OR AS REQUIRED PER LOCAL JURISDICTIONAL REQUIREMENTS. THIS WILL INCLUDE ANY ACCESSIBLE UNDER-STAIR LOCATIONS. ALL TUB/SHOWER ENCLOSURES SHALL HAVE WATER RESISTANT GYP BOARD.
- APPLY 1/2" GYP BOARD TO GARAGE SIDE OF FIREWALL (GARAGE/HOUSE SEPARATION WALLS). CONTINUE 1/2" GYP BOARD ON GARAGE SIDE OF FIREWALL TO UNDERSIDE OF ROOF SHEATHING OR APPLY 1/2" GYP BOARD TO GARAGE LID.
- CONNECT ALL SMOKE DETECTORS (SEE PLAN FOR LOCATION) TO HOUSE ELECTRICAL SYSTEM AND INTER-CONNECT EACH ONE, SO THAT, WHEN ANY ONE IS TRIPPED, THEY WILL ALL SOUND.
- PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 4 AIR EXCHANGES PER HOUR. RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.
- PROVIDE MINIMUM 18"x24" CRAWL SPACE ACCESS WITH AIR-TIGHT GASKET.
- PROVIDE MINIMUM 22"x30" ATTIC ACCESS W/ INSULATED "LID". PROVIDE INSULATION BAFFLE AROUND OPENING.
- ALL FIXTURES ARE TO BE CENTERED IN CEILING U.N.O. WITH SPECIFIC DIMENSIONS.
- MECHANICAL REGISTER LAYOUTS FOR HEAT RECOVERY CENTILATION SYSTEM NOT SHOWN: TO BE DESIGN-BUILD BY CONTRACTOR.
- NO WARM AIR FURNACE SHALL BE INSTALLED IN A ROOM USED OR DESIGNED TO BE USED AS A BEDROOM, BATHROOM, CLOSET OR IN ANY ENCLOSED SPACE WITH ACCESS ONLY THROUGH SUCH ROOM OR SPACE, EXCEPT DIRECT VENT FURNACE, ENCLOSED FURNACES, AND ELECTRIC HEATING FURNACES.
- VENT THE RANGE HOOD, DRYER, LAUNDRY & BATH FANS TO OUTSIDE. BATHROOMS WITH BATHING FACILITIES SHALL HAVE A MECHANICAL VENTILATION SYSTEM DESIGNED TO EXHAUST A MIN. OF 80 CFM INTERMITTENT OR 20 CFM CONTINUOUS CONTROLLED BY A DE-HUMIDISTAT TIMER OR SIMILAR MEANS OF AUTOMATIC CONTROL. IN ADDITION, WHEN NOT PROVIDED WITH NATURAL VENTILATION, TOILET ROOMS WITHOUT BATHING OR SPA FACILITIES SHALL HAVE A MECHANICAL VENTILATION SYSTEM DESIGNED TO EXHAUST A MINIMUM OF 50 CFM.
- ELECTRICAL INSTALLATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE. PENETRATIONS OF ELECTRICAL OUTLET BOXES SHALL BE IN ACCORDANCE WITH SECTION R302.4.
- WATER HEATERS, RANGES AND HEAT PUMPS TO BE ELECTRIC
- REFER TO THE MANUFACTURES TRUSS LAYOUT FOR EXACT LAYOUT & SPECIFICATIONS.
- REFER TO THE (S) SHEETS FOR ALL STRUCTURAL INFORMATION
- WINDOWS NOTE:
 EGRESS WINDOW REQUIREMENTS ARE NOT VERIFIED UNTIL FINAL BUILDING INSPECTION. IT IS RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WINDOWS MEET EGRESS PRIOR TO PURCHASE.
- PLUMBING OR MECHANICAL EQUIPMENT DUCTS OR VENTS ARE NOT PERMITTED IN THE CAVITY OF THE COMMON 2-HOUR FIRE RESISTANCE-RATED WALL. ELECTRICAL INSTALLATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE. PENETRATIONS OF ELECTRICAL OUTLET BOXES SHALL BE IN ACCORDANCE WITH SECTION R302.4



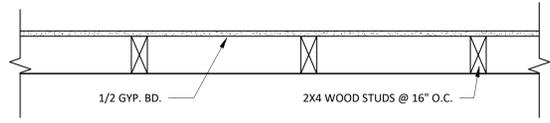
WALL ASSEMBLY - 911

NTS



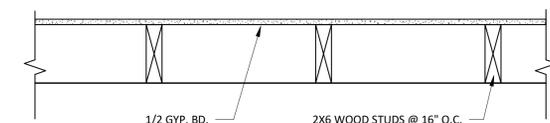
WALL ASSEMBLY - 912

NTS



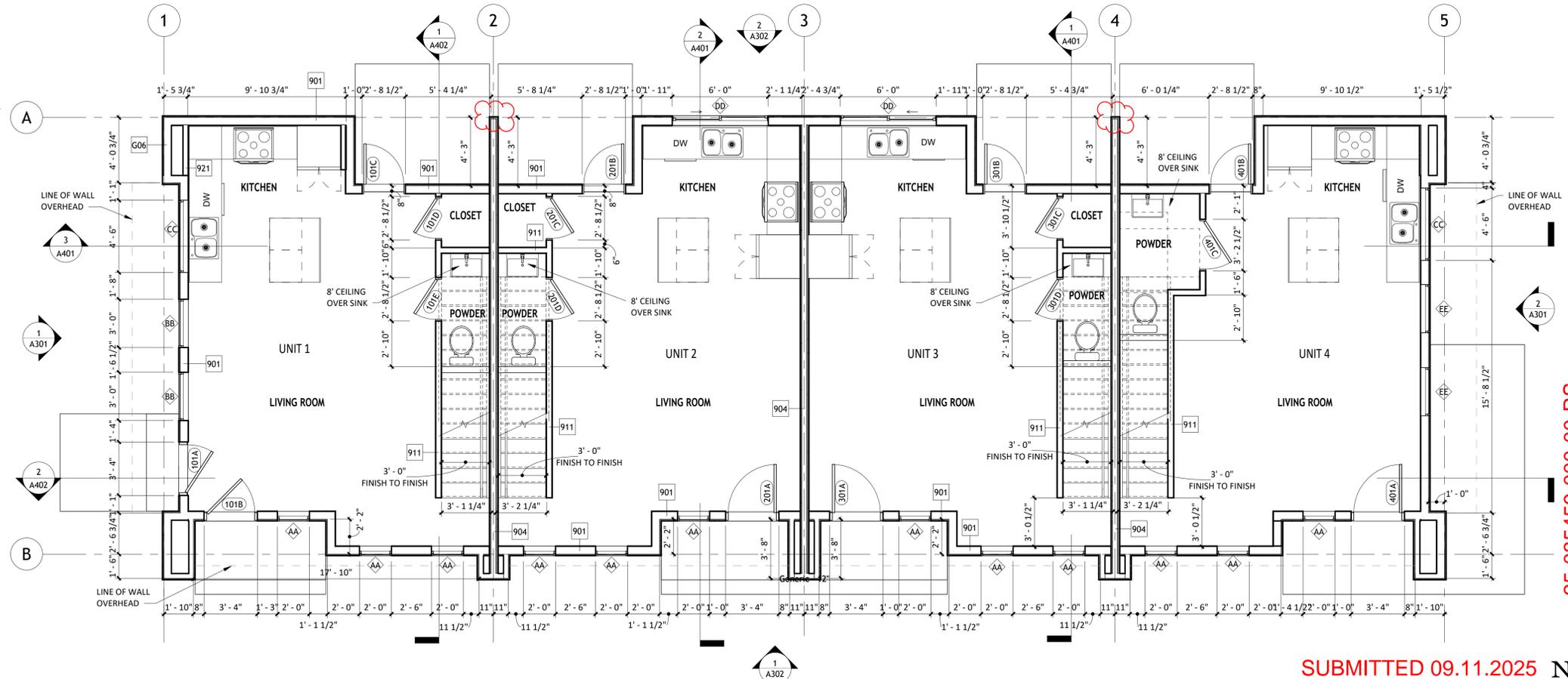
WALL ASSEMBLY - 921

NTS



WALL ASSEMBLY - 922

NTS



1 FLOOR PLAN - LEVEL ONE
 1/4" = 1'-0"

SUBMITTED 09.11.2025

25-035459-000-00-RS

PROVISION GROUP

PROVISION TOWNHOMES @ NE 26TH

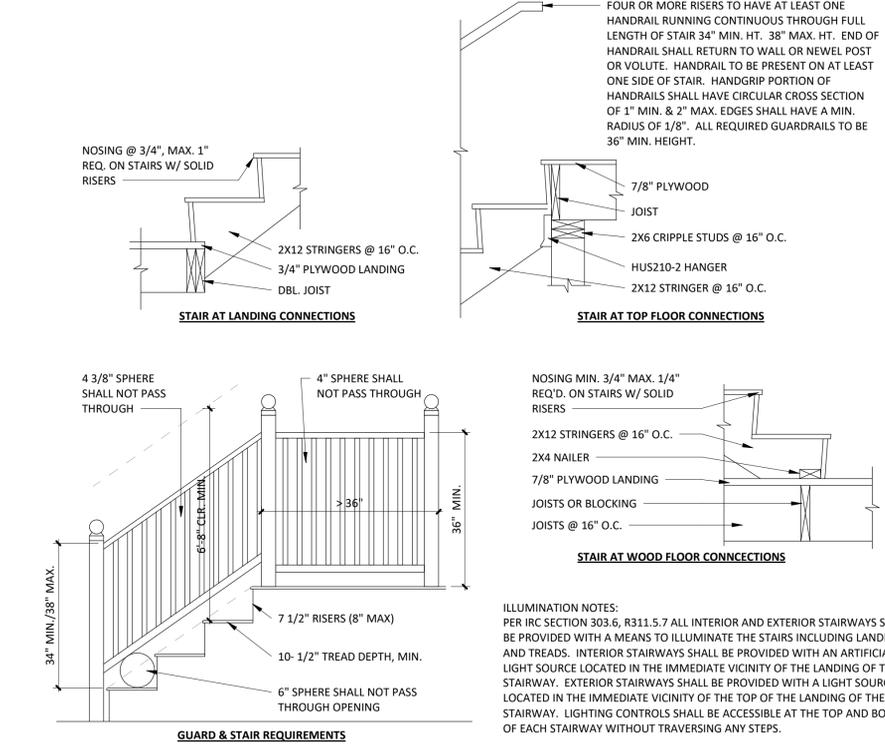
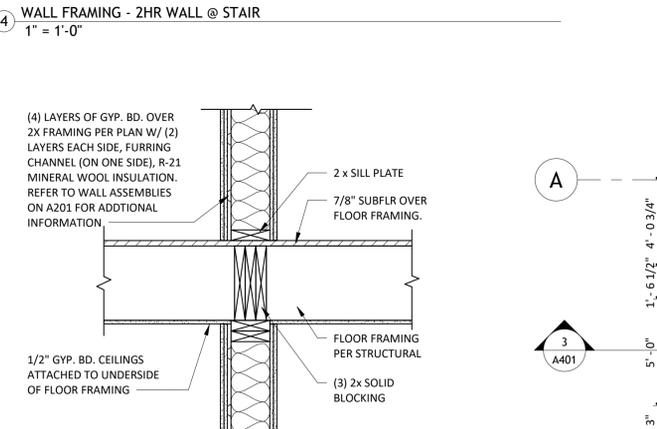
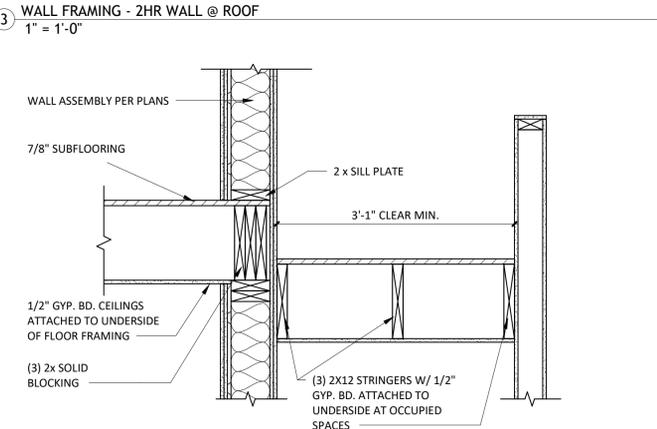
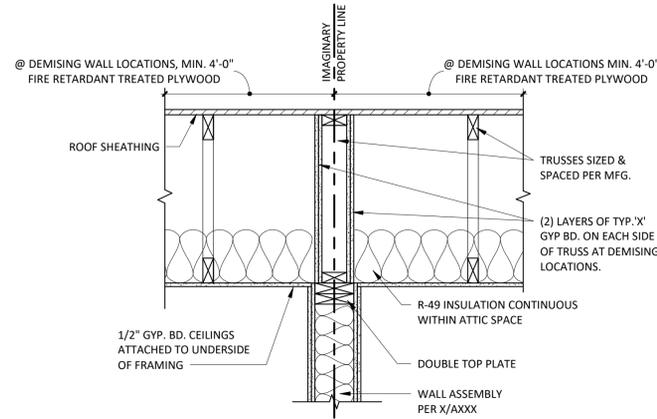
PROJECT NUMBER: 2025001

DATE Issue Date

PERMIT DRAWINGS

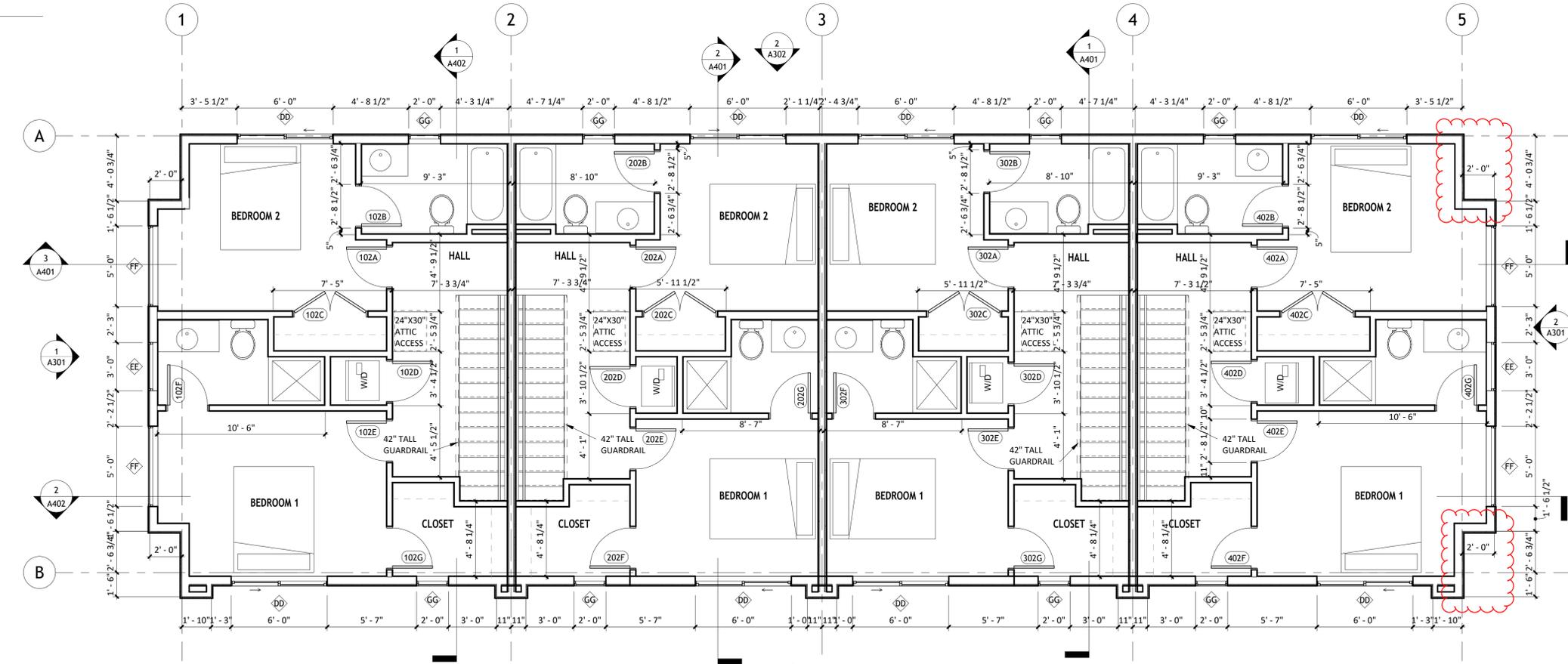
FLOOR PLAN - LEVEL ONE

A201



FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING/STUD U.N.O.
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PROVISION GROUP

PROVISION TOWNHOMES @ NE 26TH

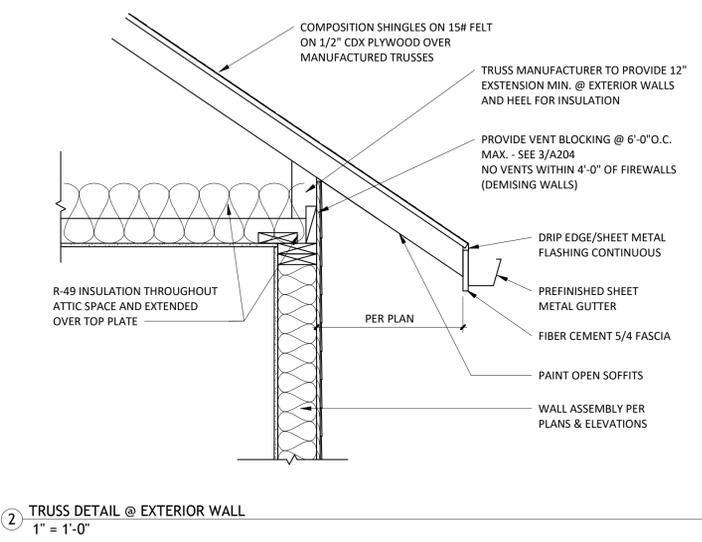
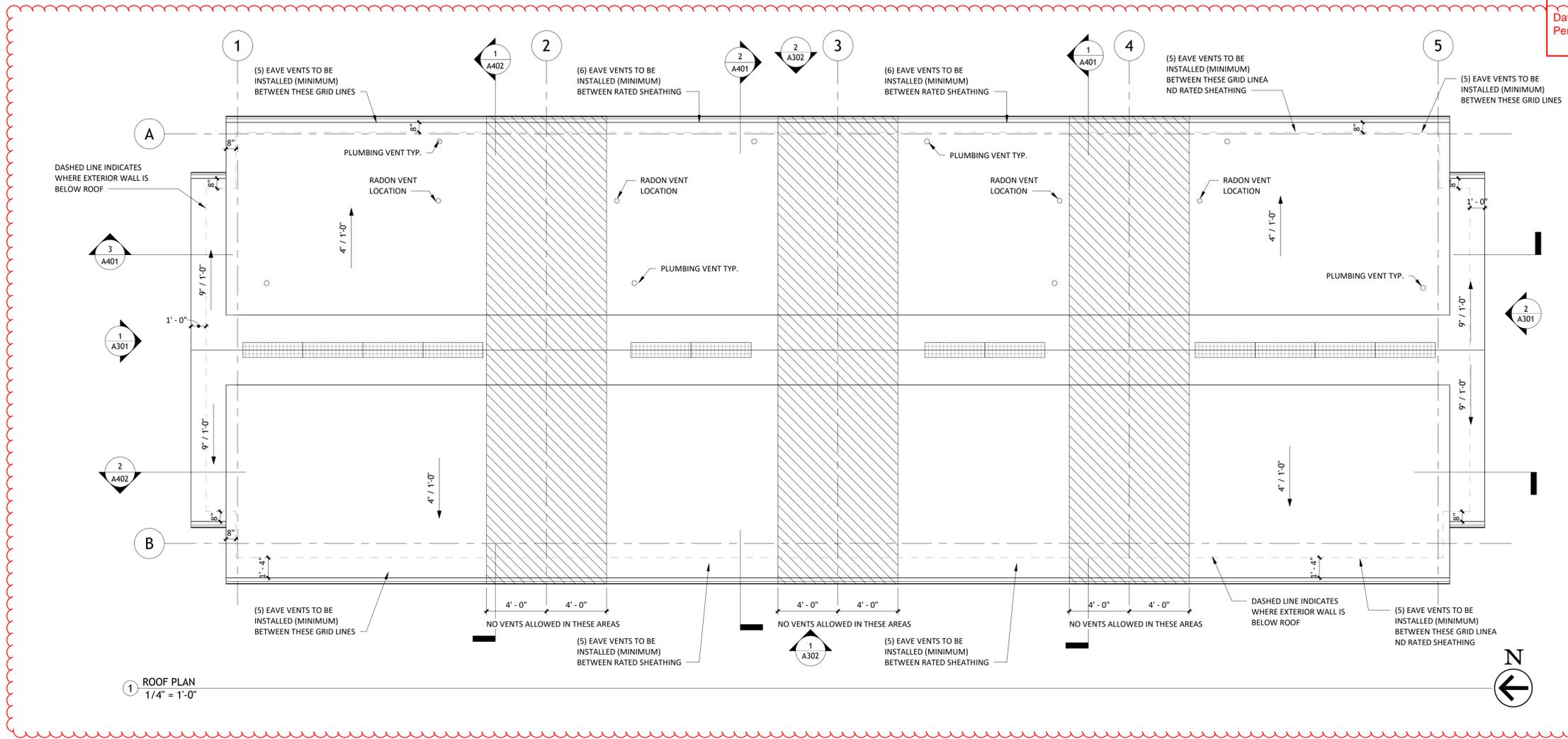
PROJECT NUMBER: 2025001

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PERMIT DRAWINGS

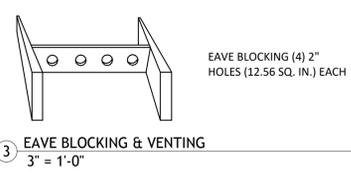
FLOOR PLAN - LEVEL TWO

A202



ROOF PLAN LEGEND

- [Hatched Box] AREA OF ROOF TO USE FIRE TREATED PLYWOOD AT DEMISING WALL LOCATIONS
- [Grid Box] 48" x 12" RIDGE VENT - 80 SQ. IN. NET FREE AREA



ROOF PLAN PLAN NOTES

- GABLE END OVERHANGS ARE 12", EAVES ARE 12" TYPICAL U.N.O.
- PROVIDE & INSTALL RAIN GUTTERS AND DOWNSPOUTS AS REQUIRED PER BUILD LOCATION.
- GUTTERS (TYP. U.N.O.): 5" FASCIA STYLE, 26 GA. STEEL GUTTERS WITH 2"x3" STEEL DOWNSPOUTS. ALL GUTTERS TO BE SPIKED A MIN. OF 24" O.C. ALL JOINTS TO BE SCREWED AND SEALED WITH 'ALOCO' GUTTER SEAL OR EQUIV. CONNECT ALL DOWNSPOUTS TO RAIN DRAINS WHERE PROVIDED.
- SEE PLAN FOR ROOF PITCH.
- COMPOSITION SHINGLE ROOFING TO BE INSTALLED OVER 15# ROOFING FELT PER MANUFACTURER'S SPECIFICATIONS.
- PROVIDE 2X4 CROSS BRACING ON ALL RIDGE AND PURLIN SUPPORTS OVER 8'-0" LONG.
- INSTALL INSULATION SO THAT THE FREE FLOW OF AIR WITHIN THE ATTIC IS NOT BLOCKED.
- REQUIRED VENTILATION OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND/OR RAIN.
- VENTED BLOCKS ARE TO BE 4 HOLE STYLE, SEE DETAIL 3/A204.
- PROVIDE PROTECTIVE FLASHING FOR ALL ROOF PENETRATIONS.
- VENTILATION:
 THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDED THAT AT LEAST 40% BUT NOT MORE THAN 50% OF THE REQUIRED AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE BEING VENTILATED. THE REMAINING BALANCE OF THE REQUIRED VENTING WILL BE PROVIDED BY EAVE VENTS, LOW ROOF VENTS, AND RIDGE VENTS.
- VENTS:
 - 8"x8" ROOF VENTS ARE BASED ON 50 SQ. IN. NET FREE VENTILATION AREA PER VENT.
 - EAVE VENTS ARE BASED ON 12.5 SQ. IN. NET FREE VENTILATION AREA PER VENT.
 - RIDGE VENTS ARE BASED ON 48" x 12", W/ 20 SQ. IN. NET FREE VENTILATION AREA PER FOOT OF VENT, 48" = 80 SQ. IN. OF NET FREE VENTILATION AREA.
- ATTIC AREAS:
 MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 (.0067) OF THE AREA OF THE VENTED SPACE
 - UNIT 1: 625 SQ. FT. (625 * 144 = 90,000 SQ. IN.)
 90,000 * .0067 = 603 SQ. IN. REQUIRED AREA OF VENTILATION
 PROPOSED: 4 RIDGE VENTS @ 20 SQ. IN. (EA)/ 12 EAVE VENTS @ 50 SQ. IN. (EA) - TOTAL PROPOSED = 680 SQ. IN.
 - UNIT 2: 574 SQ. FT. (508 * 144 = 82,656 SQ. IN.)
 82,656 * .0067 = 554 SQ. IN. REQUIRED AREA OF VENTILATION
 PROPOSED: 2 RIDGE VENTS @ 20 SQ. IN. (EA)/ 11 EAVE VENTS @ 50 SQ. IN. (EA) - TOTAL PROPOSED = 590 SQ. IN.
 - UNIT 3: 574 SQ. FT. (508 * 144 = 82,656 SQ. IN.)
 82,656 * .0067 = 554 SQ. IN. REQUIRED AREA OF VENTILATION
 PROPOSED: 2 RIDGE VENTS @ 20 SQ. IN. (EA)/ 11 EAVE VENTS @ 50 SQ. IN. (EA) - TOTAL PROPOSED = 590 SQ. IN.
 - UNIT 4: 625 SQ. FT. (625 * 144 = 90,000 SQ. IN.)
 90,000 * .0067 = 603 SQ. IN. REQUIRED AREA OF VENTILATION
 PROPOSED: 4 RIDGE VENTS @ 20 SQ. IN. (EA)/ 12 EAVE VENTS @ 50 SQ. IN. (EA) - TOTAL PROPOSED = 680 SQ. IN.

25-035459-000-00-RS

PROVISION GROUP

PROVISION TOWNHOMES @ NE 26TH

PROJECT NUMBER: 2025001

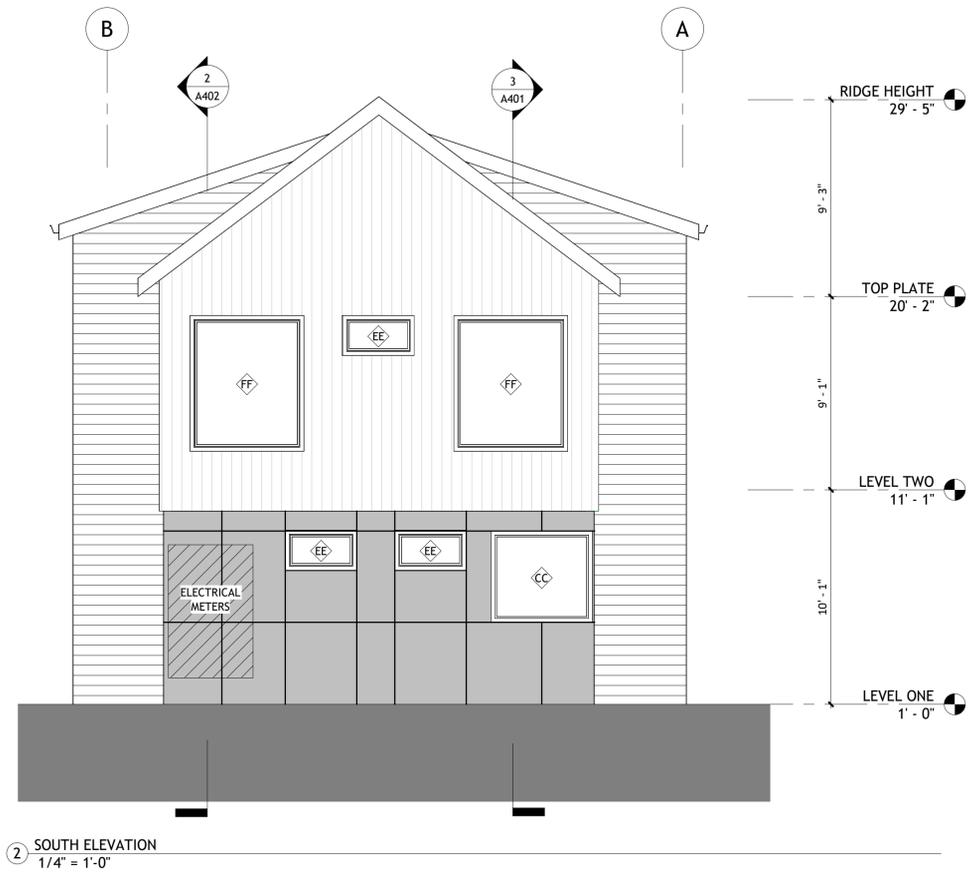
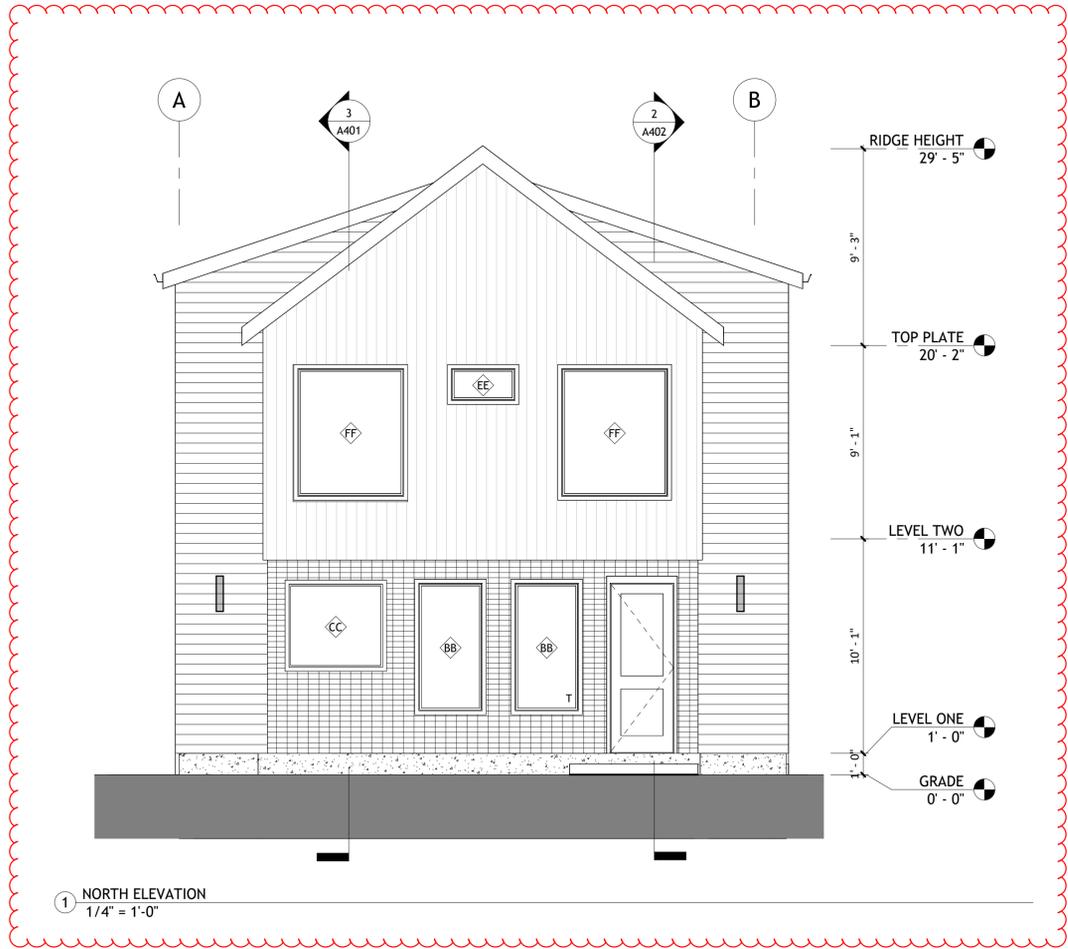
DATE Issue Date

PERMIT DRAWINGS

ROOF PLAN

A212

SUBMITTED 08.01.2025



DOOR SCHEDULE				
Mark	Door Size			Comments
	Width	Height	Thickness	
101A	3'-0"	8'-0"	0'-1 3/4"	
101B	3'-0"	8'-0"	0'-1 3/4"	
101C	2'-6"	8'-0"	0'-1 3/4"	
101D	2'-6"	6'-8"	0'-1 3/4"	
101E	2'-6"	6'-8"	0'-1 3/4"	
102A	2'-6"	6'-8"	0'-1 3/4"	
102B	2'-6"	6'-8"	0'-1 3/4"	
102C	4'-6"	6'-8"	0'-1 3/4"	
102D	2'-6"	6'-8"	0'-1 3/4"	
102E	2'-6"	6'-8"	0'-1 3/4"	
102F	2'-6"	6'-8"	0'-1 3/4"	
102G	2'-6"	6'-8"	0'-1 3/4"	
201A	3'-0"	8'-0"	0'-1 3/4"	
201B	2'-6"	8'-0"	0'-1 3/4"	
201C	2'-6"	6'-8"	0'-1 3/4"	
201D	2'-6"	6'-8"	0'-1 3/4"	
202A	2'-6"	6'-8"	0'-1 3/4"	
202B	2'-6"	6'-8"	0'-1 3/4"	
202C	4'-6"	6'-8"	0'-1 3/4"	
202D	2'-6"	6'-8"	0'-1 3/4"	
202E	2'-6"	6'-8"	0'-1 3/4"	
202F	2'-6"	6'-8"	0'-1 3/4"	
202G	2'-6"	6'-8"	0'-1 3/4"	
301A	3'-0"	8'-0"	0'-1 3/4"	
301B	2'-6"	8'-0"	0'-1 3/4"	
301C	2'-6"	6'-8"	0'-1 3/4"	
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302G	2'-6"	6'-8"	0'-1 3/4"	
401A	3'-0"	8'-0"	0'-1 3/4"	
401B	2'-6"	8'-0"	0'-1 3/4"	
401C	3'-0"	6'-8"	0'-1 3/4"	
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402E	2'-6"	6'-8"	0'-1 3/4"	
402F	2'-6"	6'-8"	0'-1 3/4"	
402G	2'-6"	6'-8"	0'-1 3/4"	

WINDOW SCHEDULE							
Type Mark	Size		Type	Material	Finish	Head Height	Comments
	Width	Height					
AA	2'-0"	6'-0"	FIXED	VINYL	BLACK EXTERIOR/WHITE INTERIOR	8'-0"	WINDOW TO BE TEMPERED WHEN WITHIN 24" OF A DOOR
BB	3'-0"	6'-0"	FIXED	VINYL	BLACK EXTERIOR/WHITE INTERIOR	8'-0"	WINDOW TO BE TEMPERED WHEN WITHIN 24" OF A DOOR
CC	4'-6"	4'-0"	FIXED	VINYL	BLACK EXTERIOR/WHITE INTERIOR	8'-0"	
DD	6'-0"	5'-0"	SLIDER	VINYL	BLACK EXTERIOR/WHITE INTERIOR	8'-0"	PER MFG. CLEAR OPENING IS 33"(W)X57"(H)=13 SQFT
EE	3'-0"	1'-6"	FIXED	VINYL	BLACK EXTERIOR/WHITE INTERIOR	8'-0"	WINDOW TEMPERED WHEN IN BATHROOM
FF	5'-0"	6'-0"	FIXED	VINYL	BLACK EXTERIOR/WHITE INTERIOR	8'-0"	
GG	2'-0"	5'-0"	FIXED	VINYL	BLACK EXTERIOR/WHITE INTERIOR	8'-0"	WINDOW TEMPERED WHEN IN BATHROOM
HH	6'-0"	1'-6"	FIXED	VINYL	BLACK EXTERIOR/WHITE INTERIOR	10'-8"	

WINDOW NOTES

- BASIS OF DESIGN FOR WINDOWS IS MILGARD STYLE LINE SERIES V250
- ALL WINDOWS TO HAVE BLACK EXTERIOR COLOR AND WHITE INTERIOR COLOR
- ALL WINDOWS LOCATED IN RESTROOMS TO HAVE THE GLAZING TEMPERED

DOOR NOTES

- ALL EXTERIOR DOORS TO BE SOLID CORE
- ALL INTERIOR DOORS TO HAVE 5/8" MIN. UNDERCUT

BUILDING ELEVATION LEGEND

- T&G WOOD SIDING (INSTALLED VERTICALLY)
 SIZE: 2X6
 COLOR: CLEAR FINISH
- FIBER CEMENT LAP SIDING
 STYLE: SMOOTH
 SIZE: 4" (WIDE)
 COLOR: PAINTED SW 7005-PURE WHITE
- SLIM BRICK
 MFG: MUTUAL MATERIALS
 SIZE: 2.5" X 7.5" X .5"
 COLOR: COAL CREEK
- FIBER CEMENT FLAT PANELS
 STYLE: SMOOTH
 SIZE: AS REQUIRED TO ALIGN PER ELEVATIONS/VERTICAL 'H'
 TRIM AT TRANSITIONS
 COLOR: PAINTED SW 7068-GRIZZLE GRAY
- T WINDOW TO BE TEMPERED
- HB HOSE BIBB LOCATION
- WALL MOUNTED DIRECT/INDIRECT EXTERIOR LIGHT FIXTURE @ NORTH & WEST ELEVATIONS
 BASIS OF DESIGN: POHL (2) LIGHT 14" OUTDOOR WALL SCENCE
- WALL MOUNTED EXTERIOR LIGHT FIXTURE @ EAST ELEVATION
 BASIS OF DESIGN: HINKLEY - TETRA LED WALL SCENCE

BUILDING ELEVATION NOTES

- ADDRESS/PREMISES IDENTIFICATION:
 NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, INCLUDING MONUMENT SIGNS. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/8 INCH. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE(S). (OFC 505.1)

PROVISION GROUP

PROVISION TOWNHOMES @ NE 26TH

PROJECT NUMBER: 2025001

DATE Issue Date

PERMIT DRAWINGS

BUILDING ELEVATIONS & SCHEDULES

A301

SUBMITTED 08.01.2025

25-035459-000-00-RS

BUILDING ELEVATION NOTES

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 STYLE: SMOOTH
 SIZE: 4" (WIDE)
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-  SLIM BRICK
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 SIZE: 2.5" X 7.5" X .5"
 COLOR: COAL CREEK
-  FIBER CEMENT FLAT PANELS
 STYLE: SMOOTH
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 TRIM AT TRANSITIONS
 COLOR: PAINTED SW 7068-GRIZZLE GRAY
-  T WINDOW TO BE TEMPERED
-  HB HOSE BIB LOCATION
-  WALL MOUNTED DIRECT/INDIRECT EXTERIOR LIGHT FIXTURE @ NORTH & WEST ELEVATIONS
 BASIS OF DESIGN: POHL (2) LIGHT 14" OUTDOOR WALL SCENCE
-  WALL MOUNTED EXTERIOR LIGHT FIXTURE @ EAST ELEVATION
 BASIS OF DESIGN: HINKLEY - TETRA LED WALL SCENCE

PROVISION GROUP

PROVISION TOWNHOMES @ NE 26TH

PROJECT NUMBER: 2025001

DATE: Issue Date

PERMIT DRAWINGS

BUILDING ELEVATIONS

A302

25-035459-000-00-RS

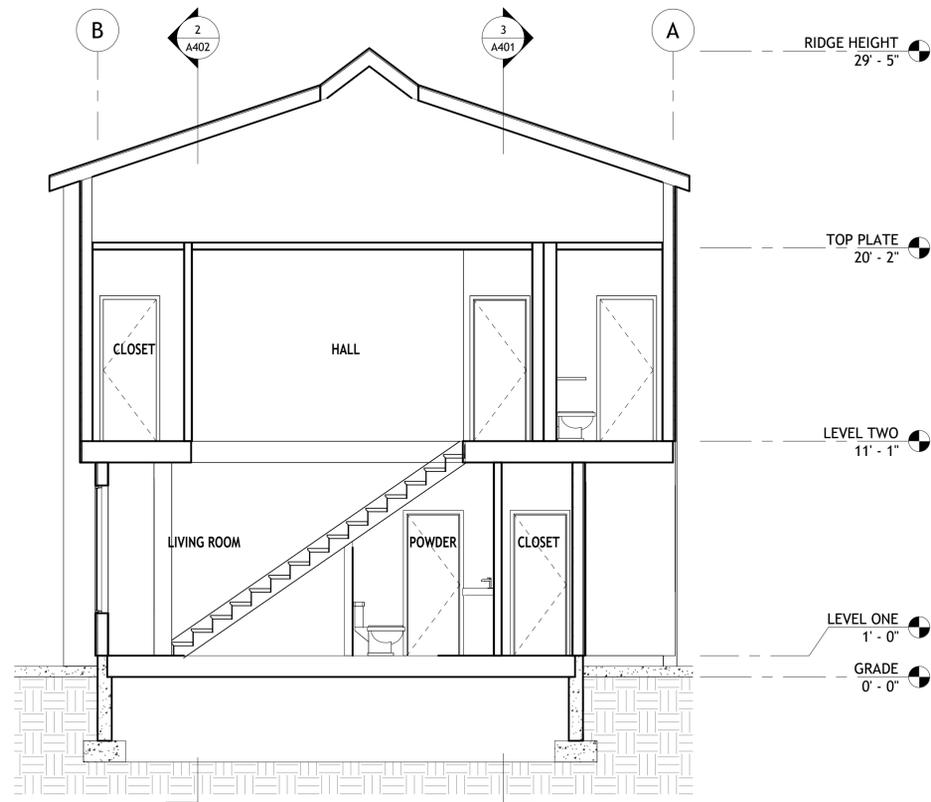
SUBMITTED 08.01.2025



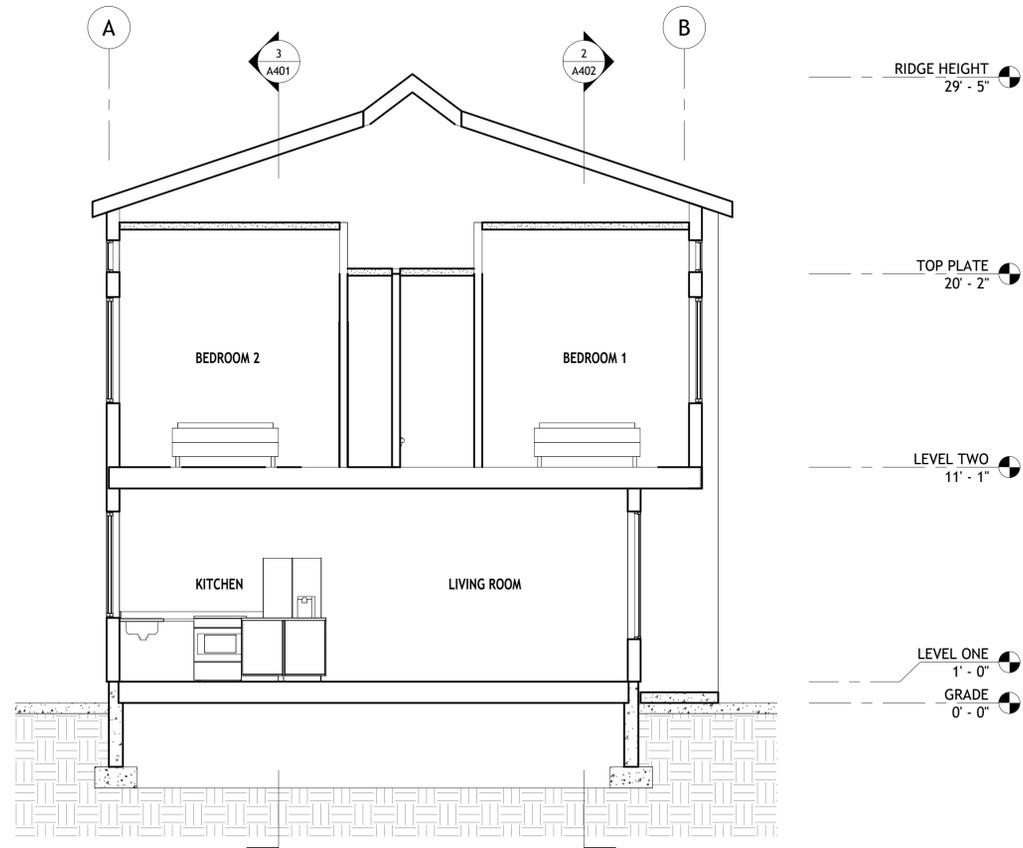
1 WEST ELEVATION
 1/4" = 1'-0"



2 EAST ELEVATION
 1/4" = 1'-0"



1 BUILDING SECTION - WEST/EAST
 1/4" = 1'-0"



2 BUILDING SECTION - EAST/WEST
 1/4" = 1'-0"



3 BUILDING SECTION - NORTH/SOUTH
 1/4" = 1'-0"

PROVISION GROUP

PROVISION TOWNHOMES
 @ NE 26TH

PROJECT NUMBER: 2025001

DATE: Issue Date

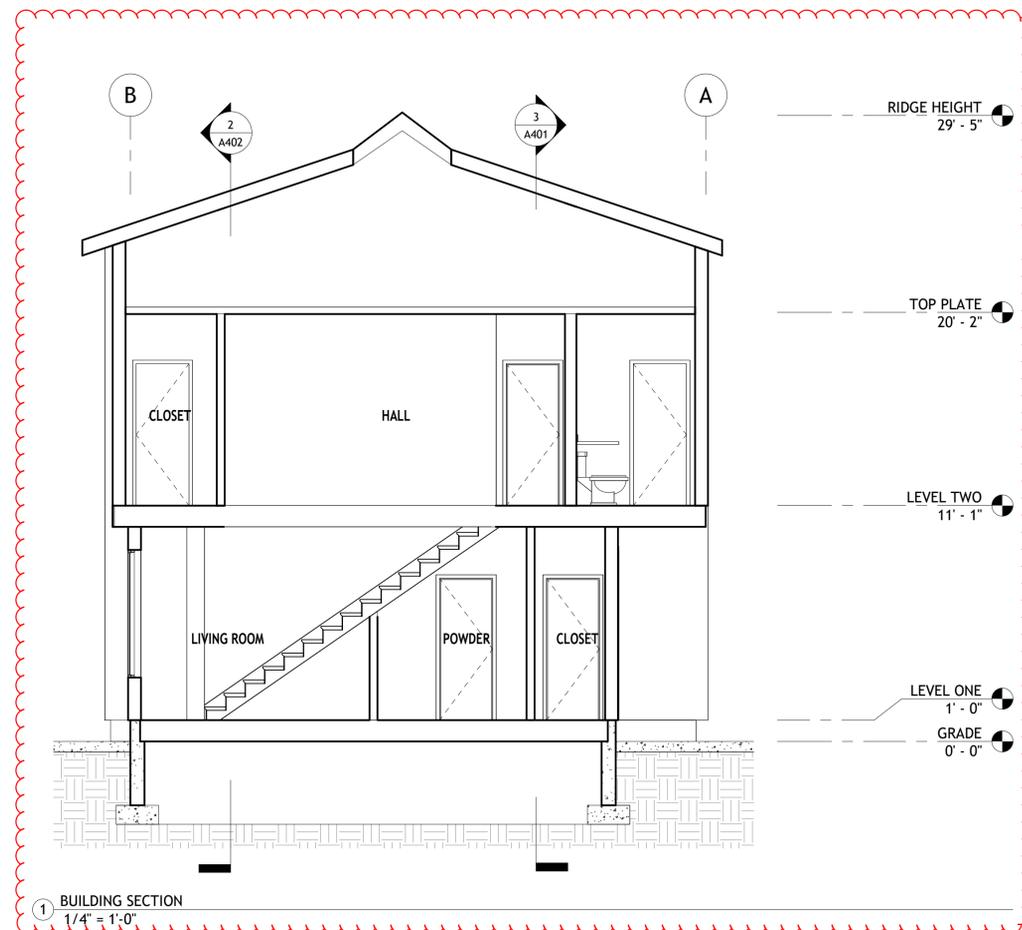
PERMIT DRAWINGS

BUILDING SECTIONS

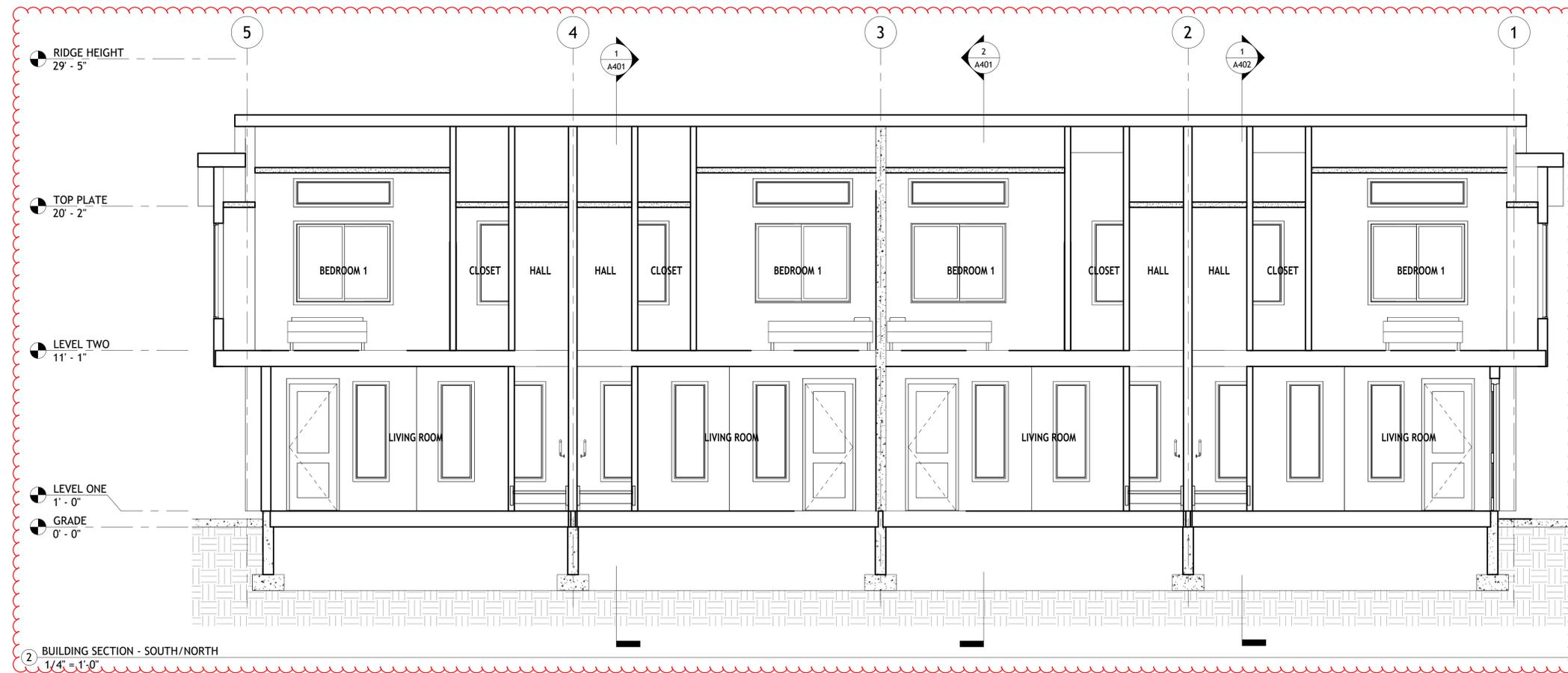
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25-035459-000-00-RS

SUBMITTED 08.01.2025



1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION - SOUTH/NORTH
1/4" = 1'-0"

PROVISION GROUP

PROVISION TOWNHOMES @ NE 26TH

PROJECT NUMBER: 2025001

DATE: Issue Date

PERMIT DRAWINGS

BUILDING SECTIONS

A402

25-035459-000-00-RS

SUBMITTED 08.01.2025

DESIGN CRITERIA

- GOVERNING BUILDING CODE: CURRENT EDITION OF OSSC, NDS, ACI AND ASCE 7-22.
- GRAVITY LIVE LOAD:
ROOF
SNOW 25 PSF
FLOOR LIVE LOAD..... 40 PSF
- SEISMIC
1.0 SEC SPECTRAL RESPONSE ACCELERATION (S1) N/A
0.2 SEC SPECTRAL RESPONSE ACCELERATION (SDS) 0.694g
OCCUPANCY CATEGORY II
SITE CLASS: D
SEISMIC DESIGN CATEGORY: D
BASIC SEISMIC-FORCE-RESISTING SYSTEM(S):
LIGHT-FRAME (WOOD) WALLS SHEATHED WITH WOOD STRUCTURAL
PANELS RATED FOR SHEAR RESISTANCE
RESPONSE COEFFICIENT (R) - LIGHT-FRAMED WOOD WALLS
FRAME WITH WOOD STRUCTURAL PANEL 6.5
- SNOW DESIGN:
GROUND SNOW LOAD, PG: 25 PSF
FLAT-ROOF SNOW LOAD: 25 PSF
SNOW EXPOSURE FACTOR: 1.0
THERMAL FACTOR: 1.0
SNOW IMPORTANCE FACTOR: 1.0
- WIND DESIGN:
BASIC WIND SPEED (3-SECOND GUST, VASD): 97 MPH
DESIGN WIND SPEED (3-SECOND GUST, VULT): 125 MPH
IMPORTANCE FACTOR: 1
EXPOSURE CATEGORY: B
INTERNAL PRESSURE COEFFICIENT: 0.18

GENERAL

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES.
- DO NOT SCALE DRAWINGS; COORDINATE DIMENSIONS WITH ARCHITECTURAL PLANS.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE WITH AMENDMENTS.
- SEE ARCHITECTURAL PLANS FOR:
 - SIZE AND LOCATION OF ALL OPENINGS
 - SIZE AND LOCATION OF ALL INTERIOR AND EXTERIOR NON-BEARING PARTITIONS
 - SIZE AND LOCATION OF ALL CONCRETE CURBS, FLOOR DRAINS, SLOPES, DEPRESSED AREAS, CHANGES IN LEVEL, CHAMFERS, GROOVES, INSERTS, ETC.
 - SIZE AND LOCATION OF ALL FLOOR AND ROOF OPENINGS
 - FLOOR AND ROOF FINISHES
 - STAIR FRAMING AND DETAILS, EXCEPT AS SHOWN
 - DIMENSIONS NOT SHOWN ON STRUCTURAL DRAWINGS
- SEE MECHANICAL, PLUMBING AND ELECTRICAL PLANS FOR:
 - PIPE RUN, SLEEVES, AND HANGERS, TRENCHES, WALL AND SLAB OPENINGS, ETC., EXCEPT AS SHOWN
 - ELECTRICAL CONDUIT RUNS, BOXES, OUTLETS IN WALLS AND SLABS
 - CONCRETE INSERTS FOR FIXTURES
 - SIZE AND LOCATION OF MACHINE OR EQUIPMENT BASES, ANCHORS BOLTS FOR MOTOR MOUNTS.
- METHOD, PROCEDURES, AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL TIMES DURING ALL STAGES OF CONSTRUCTION.
- THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS AND VISITORS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, BRACING, SHORING FOR CONSTRUCTION LOADS, ETC. VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE REVIEW OF THE ABOVE ITEMS.
- OPENINGS, POCKETS, ETC. SHALL NOT BE PLACED IN STRUCTURAL ELEMENTS UNLESS SPECIFICALLY DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
- CONSTRUCTION LOAD (MATERIALS AND EQUIPMENT) SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE STRUCTURES HAVE NOT ATTAINED DESIGN STRENGTH.
- WHEN A DETAIL IS IDENTIFIED, THE CONTRACTOR SHALL APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS MADE IN EVERY INSTANCE.
- ANY INSPECTION/OBSERVATION BY THE PROJECT ENGINEER OR INSPECTOR SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN COMPLIANCE WITH THE APPLICABLE CODES, REGULATIONS, COUNTY STANDARDS, ENGINEERING PLANS OR PROJECT CONTRACT DOCUMENTS.
- ANY DEVIATION FROM THE PLANS, STANDARD DETAILS, CONTRACT DOCUMENTS, CODES, REGULATIONS OR COUNTY STANDARDS MUST BE APPROVED BY THE ENGINEER OF RECORD AND JURISDICTION PRIOR TO THE START OF WORK.
- DO NOT PROCEED WITH CONSTRUCTION OR ORDERING MATERIALS IF UNKNOWN OBSTRUCTIONS OR DISCREPANCIES ARE FOUND TO EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. THE CONTRACTOR SHALL TAKE NO ADVANTAGE OF ANY ERROR, OMISSION, OR DISCREPANCY IN THE PLANS OR PROJECT DOCUMENTS. WHEN AN ERROR, OMISSION, OR DISCREPANCY IS FOUND BETWEEN ANY DRAWING, NOTE, SITE CONDITION OR ARCHITECTURAL PLAN, THE ENGINEER SHALL BE NOTIFIED. WORK PERFORMED BY THE CONTRACTOR AS A RESULT OF AN ANY ERROR, OMISSION, OR DISCREPANCY IN THE PLAN SHALL BE AT THE CONTRACTOR'S RISK AND EXPENSE WHEN SUCH ERROR, OMISSION, OR DISCREPANCY HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER.
- MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL HARDWARE AND MANUFACTURED STRUCTURAL PRODUCTS SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES.

CONCRETE

- CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY AND REVIEWED BY THE ENGINEER. MIX DESIGNS SHALL BE SEALED BY A CIVIL ENGINEER LICENSED IN THE STATE OF THE PROJECT.
- AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C33. AGGREGATE FOR LIGHT WEIGHT CONCRETE SHALL CONFORM TO ASTM C330. PORTLAND CEMENT SHALL BE TYPE I OR TYPE II AND SHALL CONFORM TO ASTM C150. MINIMUM COARSE AGGREGATE SIZE IS $\frac{1}{2}$ INCH ($1\frac{1}{2}$ " FOR S.O.G.).
- ADMIXTURES MAY BE USED WITH PRIOR APPROVAL OF THE ENGINEER SEALING THE MIX DESIGN. ADMIXTURES USED TO INCREASE WORKABILITY OF THE CONCRETE SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED MINIMUM CEMENT CONTENT. CALCIUM CHLORIDE SHALL NOT BE USED.
- SPECIFIED COMPRESSIVE STRENGTHS OF CONCRETE AT 28 DAYS SHALL BE AS FOLLOWS:
FOOTINGS AND SLAB ON GRADE 3000 PSI
CONCRETE SLUMP SHALL BE 4 INCHES +/- 1 INCH
NOTE: DESIGN COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS IS 2500 PSI. MIXING, TRANSPORTING, AND PLACING OF CONCRETE SHALL CONFORM TO ACI 304R-95 AND PROJECT SPECIFICATIONS. ALL CONCRETE SURFACES AGAINST WHICH CONCRETE IS TO BE PLACED SHALL BE THOROUGHLY CLEANED. LAITANCE AND STANDING WATER SHALL BE REMOVED.
- ALL REINFORCING BARS, WELDED WIRE FABRIC, ANCHOR BOLTS, EMBEDDED PLATES AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE. PROVIDE STANDARD BAR CHAIRS AND SPACERS AS REQUIRED TO MAINTAIN CONCRETE PROTECTION SPECIFIED. "PULLING-UP" WELDED WIRE FABRIC WITH HOOKS DURING CONCRETE PLACEMENT IS NOT PERMITTED.
- CONCRETE COVER PROTECTION FOR REINFORCEMENT BARS SHALL BE AS FOLLOWS (SEE ACI 318 SEC. 7.7 FOR CONDITIONS NOT NOTED):
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ... 3"
CONCRETE CAST AGAINST EARTH OR WEATHER:
BARS #6 AND LARGER 2"
BARS #5 AND SMALLER $1\frac{1}{2}$ "
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
SLABS, WALLS, AND JOINTS #11 BARS AND SMALL 1"
BEAMS, COLUMNS - TIES, STIRRUPS, SPIRALS $1\frac{1}{2}$ "
- REINFORCING STEEL FOR CONCRETE SHALL BE GRADE 60 AND SHALL CONFORM TO ASTM A615 AND A706 FOR WELD TYPE REINFORCING STEEL. REINFORCING BARS SHALL NOT BE TACK WELDED, WELDED, HEATED OR CUT UNLESS INDICATED ON THE CONTRACT DOCUMENTS OR APPROVED BY THE STRUCTURAL ENGINEER.
- WELDING REINFORCEMENT BARS, WHEN APPROVED BY THE STRUCTURAL ENGINEER, SHALL CONFORM TO THE AMERICAN WELDING SOCIETY STANDARD D1.4, LATEST EDITION. E70XX ELECTRODES SHALL BE USED IN WELDING A706 REINFORCING BARS TO A36 STRUCTURAL STEEL.
- DETAILING CONCRETE REINFORCEMENT BARS AND ACCESSORIES SHALL CONFORM TO THE RECOMMENDATIONS OF THE ACI DETAILING MANUAL, ACE COMMITTEE 315.
- GROUT SHALL BE NON-SHRINKABLE GROUT CONFORMING TO ASTM C1107 AND SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH AT 28 DAYS OF 5000 PSI. PRE GROUTING OF BASE PLATES WILL NOT BE PERMITTED.
- FORMS FOR CONCRETE SHALL BE LAID OUT AND CONSTRUCTED TO PROVIDE FOR THE REQUIRED CAMBERS/SLOPES.
- CONDUIT OR PIPE SIZE (OD) SHALL NOT EXCEED 30 PERCENT OF SLAB THICKNESS AND SHALL BE PLACED BETWEEN TOP AND BOTTOM REINFORCING, UNLESS SPECIFICALLY DETAILED OTHERWISE. CONCENTRATION OF CONDUITS OR PIPES SHALL BE AVOIDED EXCEPT WHERE DETAILED OPENINGS ARE PROVIDED.
- PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. CORING THROUGH CONCRETE IS NOT PERMITTED EXCEPT WHERE SHOWN. NOTIFY THE STRUCTURAL ENGINEER IN ADVANCE OF CONDITIONS NOT SHOWN ON THE DRAWING.
- CURING COMPOUNDS USED ON CONCRETE THAT IS TO RECEIVE A RESILIENT TILE FINISH SHALL BE APPROVED BY THE TILE MANUFACTURER PRIOR TO USE.
- PROVIDE CONSTRUCTION OR CONTROL JOINTS IN SLABS ON GRADE AS SHOWN IN TYPICAL DETAILS SO AS TO DIVIDE SLABS INTO APPROXIMATELY RECTANGULAR AREAS NOT OVER 2525 SQUARE FEET WITH A RATIO OF LONG TO SHORT SIDES NOT OVER 1.5 AND SPACING NOT EXCEEDING 15'-0" ON CENTER.
- TYPICAL REINFORCING LENGTHS:
- #4 LAP SPLICE = 24"
- #4 STANDARD HOOK = 6" MIN.
- #5 LAP SPLICE = 30"
- #5 STANDARD HOOK = 8" MIN.

FOUNDATION

- IN THE ABSENCE OF A GEOTECHNICAL REPORT, THE FOUNDATION DESIGN IS BASED ON CONSERVATIVE VALUES. THE CONTRACTOR SHALL PERFORM EXCAVATIONS, FOOTING CONSTRUCTION AND PREPARATION OF THE SUBGRADE UNDER THE SLAB ON GRADE IN ACCORDANCE WITH THE FOLLOWING RECOMMENDATIONS AND CONTAINED IN THE PROJECT SPECIFICATIONS, IF PROVIDED.
- FOUNDATIONS HAVE BEEN DESIGNED WITH A SOIL BEARING PRESSURE OF 1500 PSF. FOUNDATIONS SHALL BE PLACED ON UNDISTURBED FIRM NATURAL SOIL OR A MINIMUM OF 6" OF "STRUCTURAL FILL" AND COMPACTED PER GEOTECHNICAL RECOMMENDATIONS. BOTTOM OF FOOTING SHALL BE AT LEAST 18" BELOW LOWEST ADJACENT GRADE (OR AS SPECIFIED IN THE GEOTECHNICAL RECOMMENDATIONS), AND FREE OF ORGANIC MATERIALS. FOOTING AND FOUNDATION EXCAVATION SHALL BE FREE OF LOOSE SOILS, SLOUGHS, DEBRIS, AND FREE STANDING WATER AT ALL TIMES. FOOTING SIZES AS INDICATED ON DRAWINGS.
- CONTRACTOR WILL PROVIDE FOR DE-WATERING OF EXCAVATIONS FROM EITHER SURFACE, GROUND, OR SEEPAGE WATER.
- ALL ABANDONED FOOTINGS, UTILITIES, ETC. THAT INTERFERE WITH NEW CONSTRUCTION SHALL BE REMOVED.
- CONTRACTOR SHALL PROVIDE FOR DESIGN AND INSTALLATION OF ALL CRIBBING, SHEATHING, AND SHORING REQUIRED TO SAFELY RETAIN THE EARTH BANKS.
- TEMPORARY SHORING SHALL BE DESIGNED AND STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF OREGON.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FOUNDATION WORK WITH PLUMBING AND ELECTRICAL. CONDITIONS WHICH ARE NOT ACCOUNTED FOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHTTECT AND ENGINEER OF RECORD.
- NO VERTICAL PENETRATIONS THROUGH STRUCTURAL FOUNDATIONS ARE ALLOWED W/OUT PRIOR APPROVAL OR CONSENT BY THE ENGINEER OF RECORD.

STRUCTURAL WOOD

- THE QUALITY OF ALL WOOD MEMBERS AND THEIR FASTENINGS SHALL CONFORM TO CHAPTER 23 OF THE IBC.
- FRAMING MEMBERS SHALL CONFORM TO THE FOLLOWING GRADES:
STUDS DFL, STUD OR BETTER
2X AND 4X FRAMING DFL, #2 OR BETTER
6X FRAMING DFL, #2 OR BETTER
PANELIZED ROOF SUBPURLINS DFL, #2 OR BETTER
PLATES DFL, #2 OR BETTER
- ALL FRAMING MEMBERS SHALL BE GRADE MARKED.
- PROVIDE PRESSURE TREATED LEDGER, SILL PLATE, POST OR STUD WHERE BEARING DIRECTLY ON CONCRETE OR MASONRY.
- BOLT HOLES IN WOOD SHALL BE $\frac{1}{32}$ " OR $\frac{1}{16}$ " LARGER THAN THE BOLT, DEPENDING ON BOLT SIZE.
- BOLT HOLES SHALL NOT BE LESS THAN (7) DIAMETERS FROM THE END AND (4) DIAMETERS FROM THE EDGE OF THE MEMBER, UNLESS OTHERWISE NOTED.
- BOLTS USED IN WOOD SHALL BE A307, UNLESS OTHERWISE NOTED.
- ALL METAL HARDWARE INSTALLED AGAINST PRESSURE TREATED FRAMING SHALL BE HOT-DIPPED GALVANIZED, STAINLESS STEEL OR Z-MAX.
- PRE-DRILL NAIL HOLES WHERE NECESSARY TO PREVENT SPLITTING.
- EACH GLU-LAMINATED MEMBER SHALL BE STAMPED WITH AN IDENTIFYING NMBER AND SHALL BE ACCOMPANIED BY A CERTIFICATE OF INSPECTION CERTIFYING THAT THE MEMBERS MEET THE 2012 IBC REQUIREMENTS. SUCH CERTIFICATES MUST BE MADE BY AN APPROVED AGENCY OF THE APA.
- GLU-LAMINATED MEMBERS SHALL BE A COMBINATION OF 24F-V4 (DFL) INDUSTRIAL GRADE, AND EXTERIOR GLUE, UNLESS NOTED OTHERWISE ON PLAN. CANTILEVERED GLU-LAM BEAMS SHALL BE 24F-V8. REFERENCE PLANS FOR SPECIFIC LOCATIONS.
- MICROLAM LVL MEMBERS SHALL BE TJI BRAND 2.0E, FB = 2900 PSI MINIMUM.
- ALL SUSPENDED LOADS FROM SUBPURLINS ARE PROHIBITED WITHOUT PRIOR APPROVAL FROM ENGINEER.
- ALL HANGERS, POST CAPS AND BASES ARE BY SIMPSON OR APPROVED EQUIVALENT. PROVIDE SIMPSON (OR APPROVED EQUIVALENT) HANGERS FOR BEAMS, JOISTS, POST BASES AND CAPS FOR COLUMNS UNLESS NOTED ON PLANS AND DETAILS.
- WHERE DIAPHRAGM AND SHEAR WALL SHEATHING NAILING IS LESS THAN 3" ON CENTER, USE 3X FRAMING AND STAGGER NAILING PER SHEAR WALL PLAN.
- SUPPORT 6X BEAMS AND 3 1/2" GLB'S W/ 4X6 POST, MINIMUM.
- SUPPORT 4X BEAMS AND 3 1/2" GLB'S W/ 4X4 POST, MINIMUM.
- ALL 2X AND 4X FRAMING SHALL BE DF-L NO. 2 MINIMUM.
- ALL EXTERIOR HEADERS SHALL BE SUPPORTED WITH 2X6 STUD AND KING STUD TYPICAL.
- SIMPSON TOP FLANGE HANGERS SHALL BE TYPE LB, BA(MIN), OR HU.
- USE SIMPSON BC4, BC6 OR BC46 WHERE POSTS CONNECT TO BEAMS AT MID-SPAN OR OFF-CENTER.
- 4X BEAM TO 4X POST CONNECTOR SHALL BE SIMPSON LCE4.
- WINDOW HEADERS SHALL BE (2) 2X8, MAXIMUM 6'-0" SPAN, U.N.O.
- INTERIOR HEADERS SHALL BE (2) 2X6 U.N.O. SUPPORT WITH (2) 2X4 STUDS.
- SOLID BLOCKING IS REQUIRED ON THE FLOORS AT ALL LEVELS TO THE FOUNDATION AT POSTS/POINT LOADS.
- EVERY ROOF TRUSS OR JOIST SHALL BE CONNECTED TO WALL TOP PLATES W/ SIMPSON H2.5A UPLIFT CLIP. H2.5A CLIP SHALL ALSO BE INSTALLED AT EVERY OTHER STUD FROM TOP PLATE TO STUD.
- FLOOR SHEATHING SHALL BE 19/32" APA-RATED SHEATHING OR APPROVED EQUAL W/ 10D AT 6"OC AT PANEL EDGES AND 12" OC FIELD, TYPICAL.
- ROOF SHEATHING SHALL BE 7/16" APA-RATED OR APPROVED EQUAL W/ 8D AT 6" OC AT PANEL EDGES AND 12" OC FIELD, TYPICAL. INSTALL PANELS HORIZONTALLY.

STRUCTURAL STEEL

- ANCHOR BOLTS SHALL CONFORM TO ASTM F 1554 GR 36, UNLESS OTHERWISE NOTED.
- STRUCTURAL STEEL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" WITH AMENDMENTS, AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES," WITH AMENDMENTS.
- DEFORMED BAR ANCHORS (DBA) SHALL BE NELSON DEFORMED BAR ANCHORS (OR APPROVED EQUAL), AND SHALL BE MADE FROM LOW CARBON STEEL CONFORMING TO ASTM A496. ANCHORS SHALL BE AUTOMATICALLY END-WELDED WITH SUITABLE WELDING EQUIPMENT IN THE SHOP OR IN THE FIELD. WELDING SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE NELSON STUD WELDING COMPANY.

SPECIAL INSPECTION

POST INSTALLED MECHANICAL AND EPOXY ANCHORS ARE NOT SPECIFIED AS PART OF THE INITIAL ENGINEERED DESIGN. IF POST INSTALLED ANCHORS ARE REQUIRED DURING CONSTRUCTION, THIRD PARTY SPECIAL INSPECTION IS REQUIRED.

25-035459/71/72/74 REV 01 RS

City of Portland
Reviewed for
Code Compliance

Date:12/2025
Permit #: 25-035459-REV-01-RS



Client
Provision Group LLC

Project
4990 NE 26th Ave
Portland, OR 97211



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REVISION SCHEDULE:
REVISION DELTA ISSUE DATE

SHEET TITLE:
**GENERAL
STRUCTURAL
NOTES**

DRAWN BY: JMH
APPROVED BY: JMH

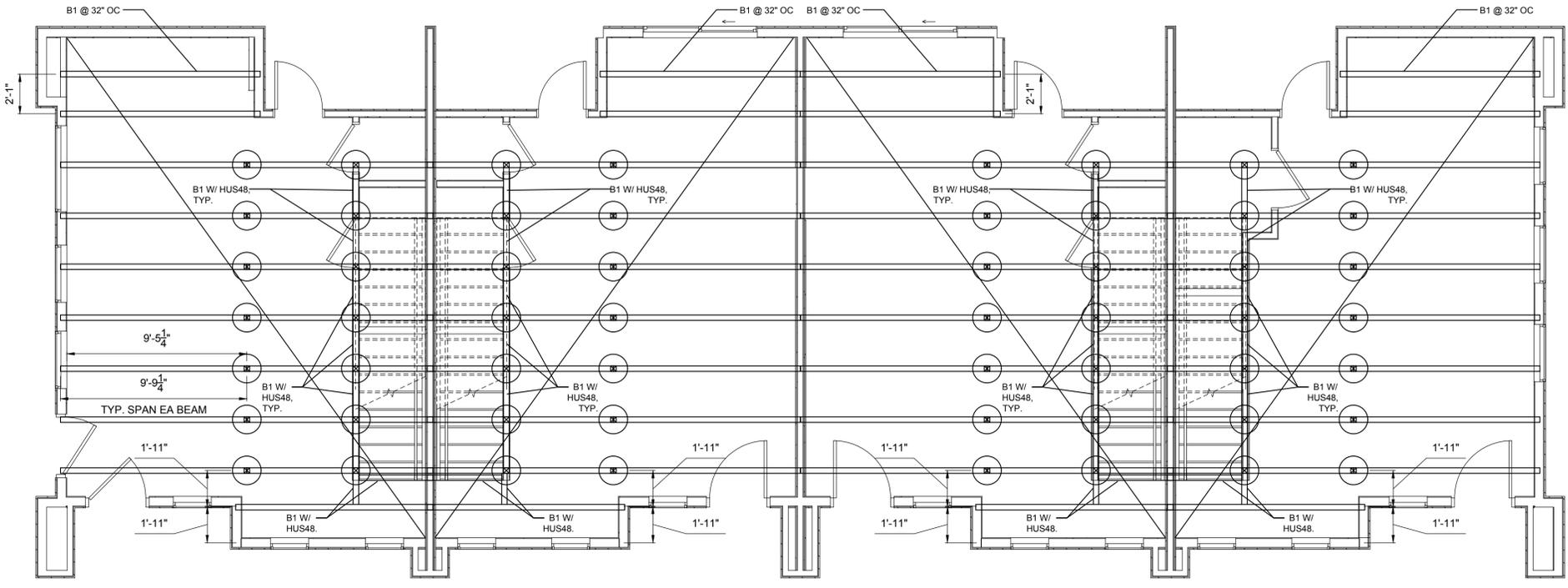
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S11

JOB NO.:

24-062

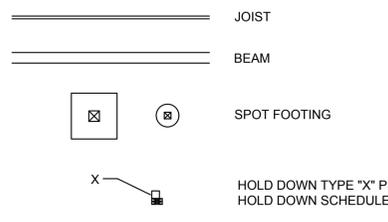
PERMIT SUBMITTAL - APRIL 2025



NOTES

1. REFER TO S1.1 FOR GENERAL STRUCTURAL NOTES.
2. REFER TO S1.1 FOR SHEAR WALL AND HOLD DOWN SCHEDULE, AND SHEAR WALL CONSTRUCTION REQUIREMENTS.
3. EXTEND SHEATHING CONTINUOUSLY THROUGH INTERSECTING WALLS WHERE SHEAR WALL IS INDICATED.
4. INSTALL AND ALIGN HOLD DOWNS FROM FLOOR ABOVE WITH HOLD DOWN OF SAME TYPE AT WALL BELOW INCLUDING HOLD DOWN AND ANCHOR BOLT INTO FOUNDATION, UNLESS OTHERWISE NOTED.

LEGEND

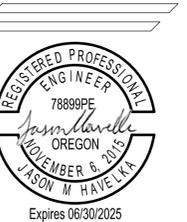


FOOTING SCHEDULE

#	SIZE	REINFORCEMENT
F1*	18" DIA. x 10" DEEP	NONE SEE DETAIL XX
F2	16" WIDE x 10" DEEP 18" MIN. BFG	(1) #4 CONT. TOP AND (2) #4 CONT. BOT SEE DETAIL XX
F3	24" WIDE x 10" DEEP 18" MIN. BFG	(1) #4 CONT. TOP AND (2) #4 CONT. BOT SEE DETAIL XX
F4*	10'-0" x 5'-0" x 18" THICK 24" BFG	(5) #4 EA WAY TOP AND BOT SEE DETAIL 8/S8.1
F5*	19'-9 3/4" x 3'-0" x 18" THICK 24" BFG	(5) #4 EA WAY TOP AND BOT SEE DETAIL 8/S8.1
F6*	8'-0" x 9'-6" x 18" THICK 24" BFG	#4 @ 9" OC EA WAY TOP AND BOT SEE DETAIL 8/S8.1

FRAMING SCHEDULE

#	SIZE	TYPE
B1	4" x 8"	DFL NO. 2



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REVISION SCHEDULE:
 REVISION DELTA ISSUE DATE

SHEET TITLE:
**FOUNDATION
 AND MAIN
 FLOOR
 FRAMING PLAN**

DRAWN BY: JMH
 APPROVED BY: JMH

SHEET:

S2.1

JOB NO.:

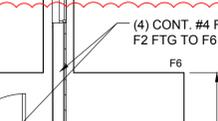
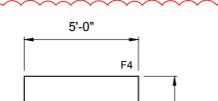
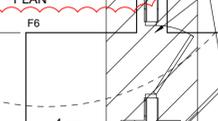
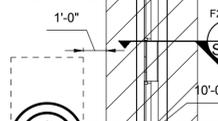
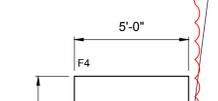
2
 S2.1
MAIN FLOOR FRAMING PLAN
 HOR. SCALE 1/4" = 1'
 (IN FEET)

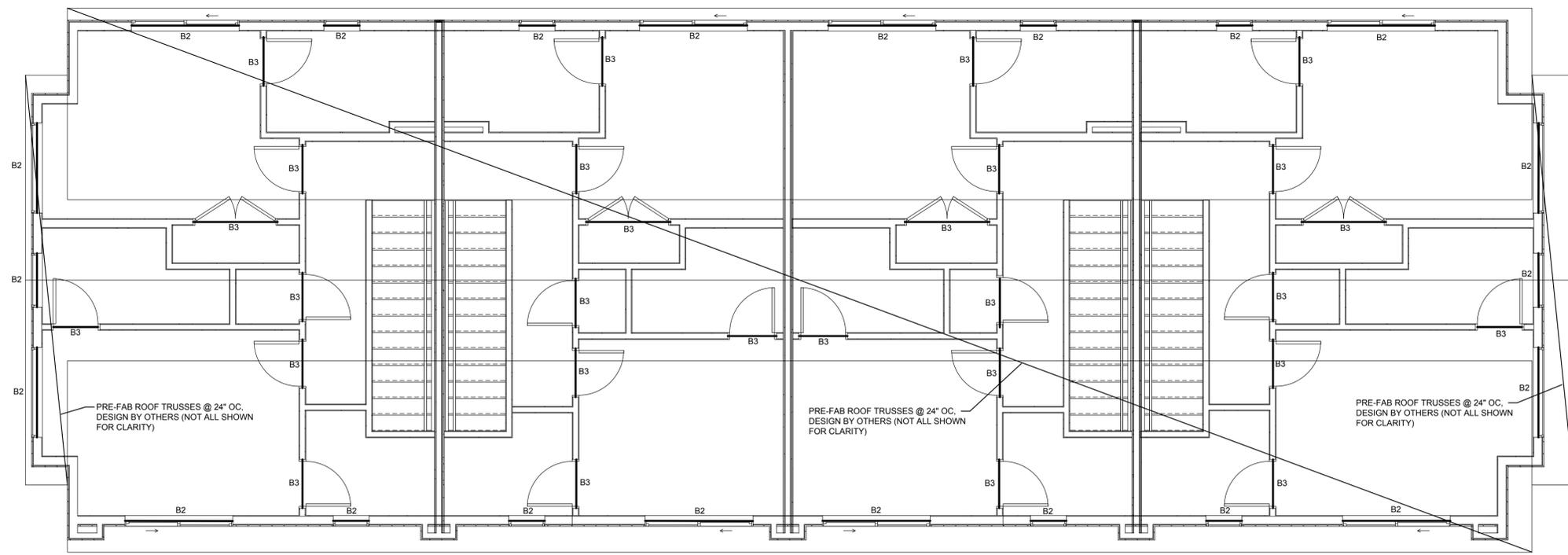
1
 S2.1
FOUNDATION PLAN
 HOR. SCALE 1/4" = 1'
 (IN FEET)

24'-3" LONG x 4'-0" WIDE x 8'-6" THICK 3/4"-0 ROCK PEDESTAL
 CENTERED BENEATH FOOTING. INSTALL 3/4"-0 IN 6" LIFTS TO 95% MAX.
 DRY DENSITY WITH COMPACTION TESTING PER GEOTECHNICAL
 RECOMMENDATIONS.

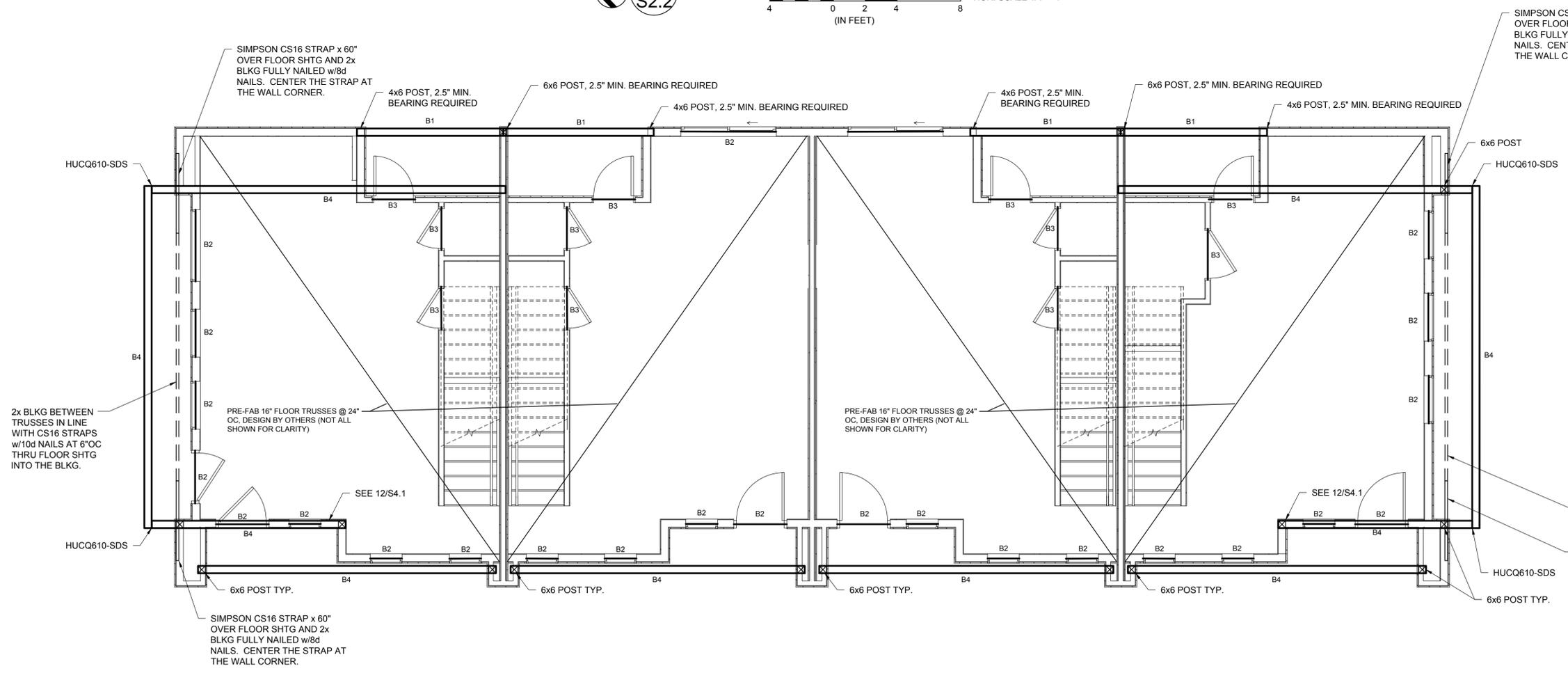
F1 FOOTING W/ 4x4
 POST PER 3/S4.2, TYP.

(4) CONT. #4 FROM
 F2 FTG TO F6 FTG





2
S2.2
ROOF FRAMING PLAN
 HOR. SCALE 1/4" = 1'
 (IN FEET)



1
S2.2
UPPER LEVEL FRAMING PLAN
 HOR. SCALE 1/4" = 1'
 (IN FEET)

FRAMING SCHEDULE

#	SIZE	TYPE
H1	(2) 2" x 6" NAILED W/ (2) ROWS 10d @ 16" OC STAGGERED	DFL NO. 2
H2	4" x 8"	DFL NO. 2
B1	3 1/2" x 16"	24F-V4 DF Glulam
B2	4" x 8"	DFL NO. 2
B3	(2) 2" x 6"	DFL NO. 2
B4	5 1/2" x 16"	24F-V4 DF Glulam

NOTES

- REFER TO S1.1 FOR GENERAL STRUCTURAL NOTES.
- IBW = INTERIOR BEARING WALL.
- SEE DETAIL 12/S4.1 FOR ATTACHMENT AT CANTILEVER BEAMS.

LEGEND



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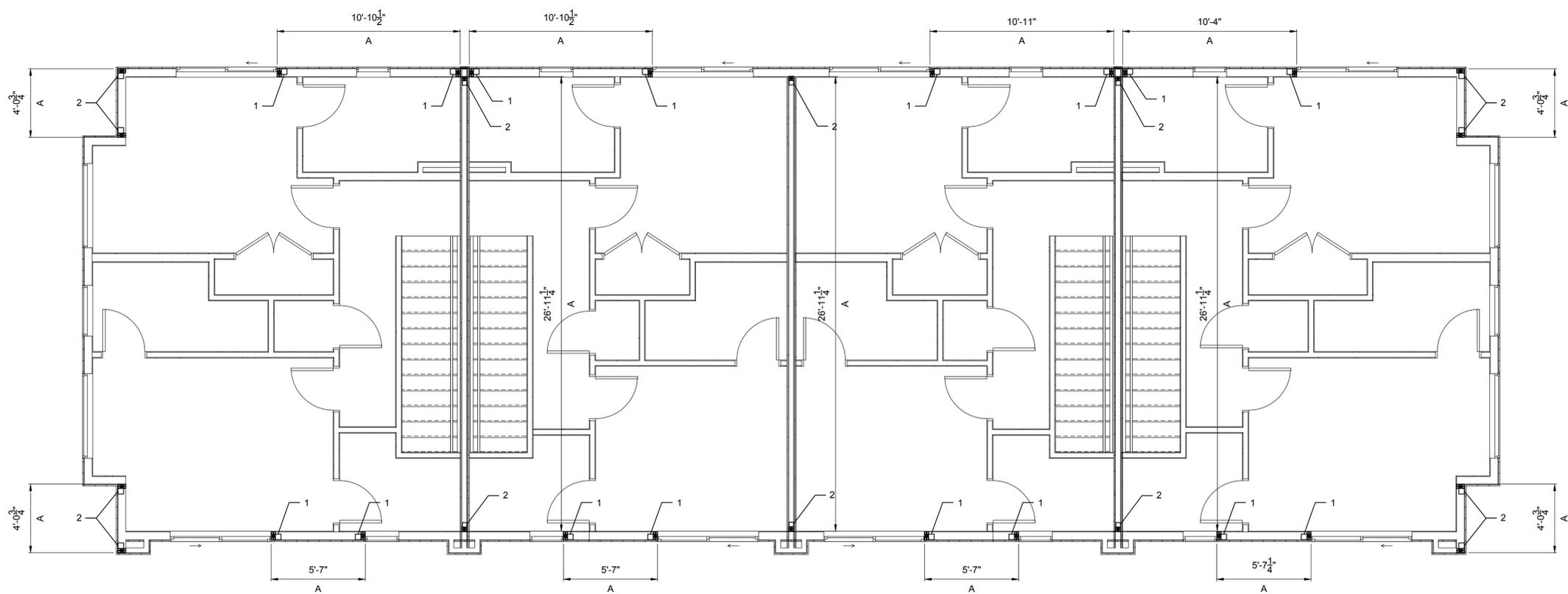
REVISION SCHEDULE:
 REVISION DELTA ISSUE DATE

SHEET TITLE:
UPPER LEVEL AND ROOF FRAMING PLAN

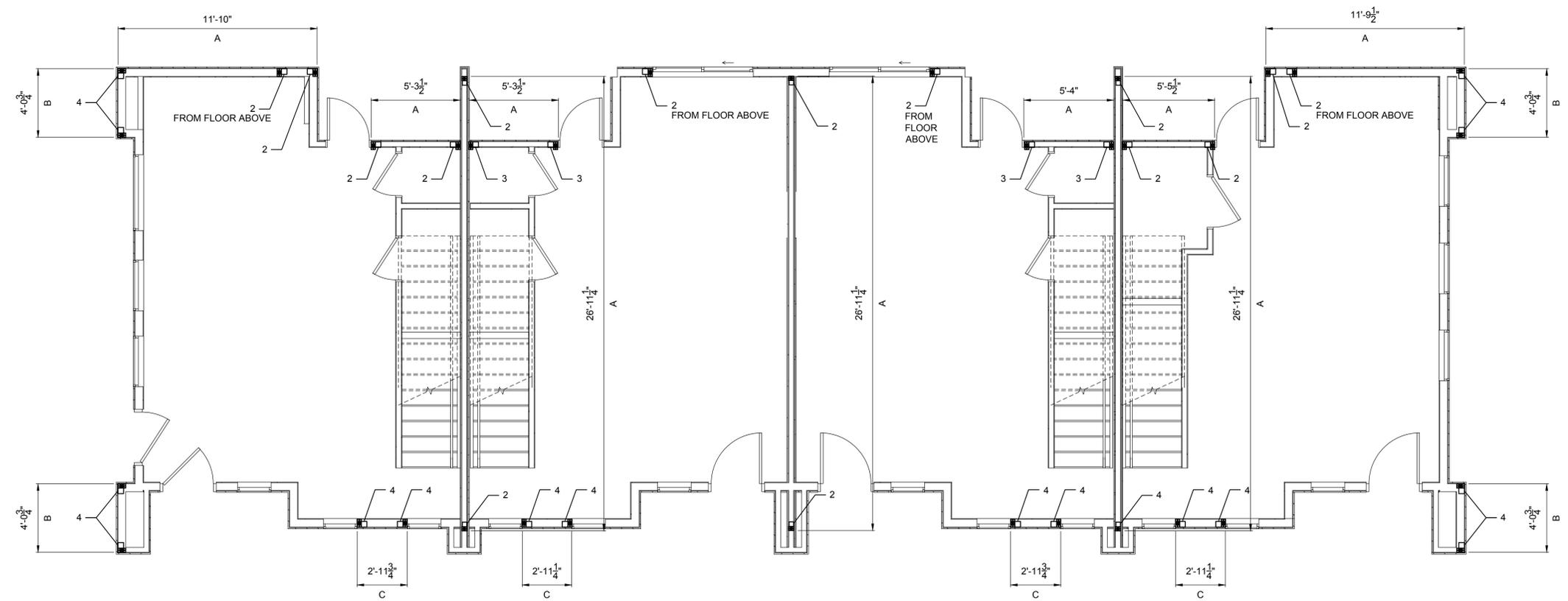
DRAWN BY: JMH
 APPROVED BY: JMH
 SHEET:

S2.2

JOB NO.:
24-062



2
S3.1 UPPER LEVEL LATERAL PLAN
HOR. SCALE 1/4" = 1'
(IN FEET)



1
S3.1 LOWER LEVEL LATERAL PLAN
HOR. SCALE 1/4" = 1'
(IN FEET)

NOTES

1. REFER TO S1.1 FOR GENERAL STRUCTURAL NOTES.
2. REFER TO S1.1 FOR SHEAR WALL AND HOLD DOWN SCHEDULE, AND SHEAR WALL CONSTRUCTION REQUIREMENTS.
3. EXTEND SHEATHING CONTINUOUSLY THROUGH INTERSECTING WALLS WHERE SHEAR WALL IS INDICATED.
4. INSTALL AND ALIGN HOLD DOWNS FROM FLOOR ABOVE WITH HOLD DOWN OF SAME TYPE AT WALL BELOW INCLUDING HOLD DOWN AND ANCHOR BOLT INTO FOUNDATION, UNLESS OTHERWISE NOTED.

LEGEND

- L
A SHEAR WALL LENGTH "L" TYPE "A" PER SHEAR WALL SCHEDULE
- X
HOLD DOWN TYPE "X" PER HOLD DOWN SCHEDULE

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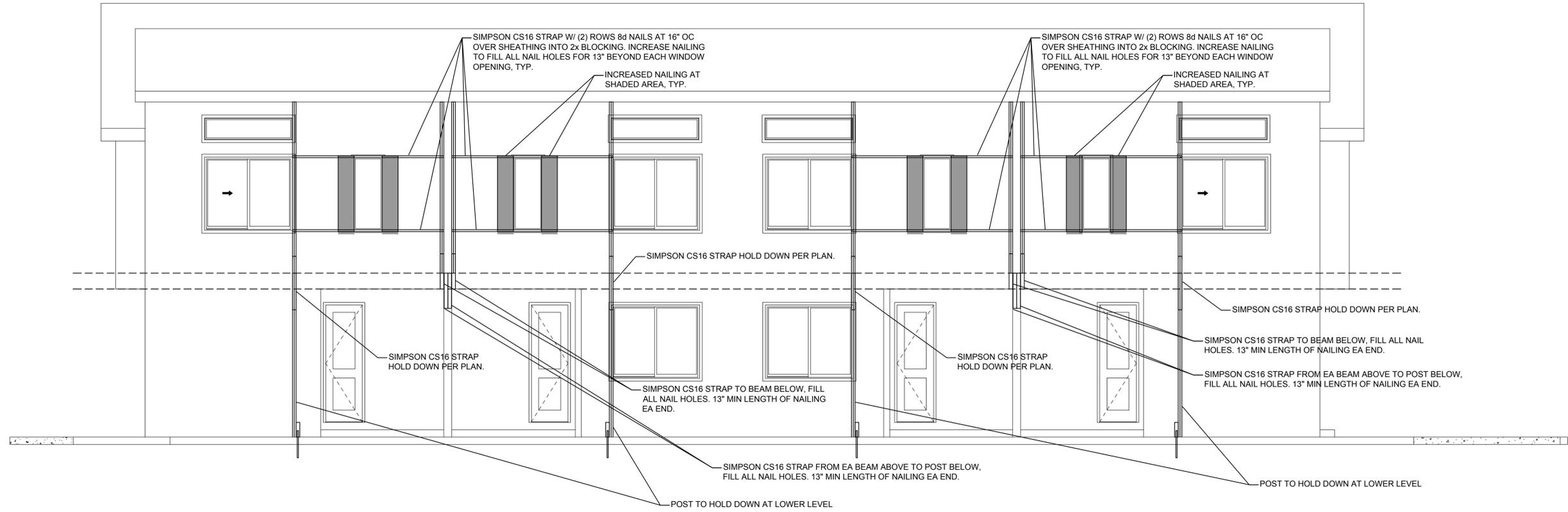
REVISION	DELTA	ISSUE DATE

SHEET TITLE:
LATERAL PLANS

DRAWN BY: JMH
APPROVED BY: JMH
SHEET:

S3.1

JOB NO.:
24-062



2 EAST STRUCTURAL ELEVATION
 S3.2
 HOR. SCALE 1/4" = 1'
 (IN FEET)

NOTES
 - REFER TO S1.1 FOR GENERAL STRUCTURAL NOTES.

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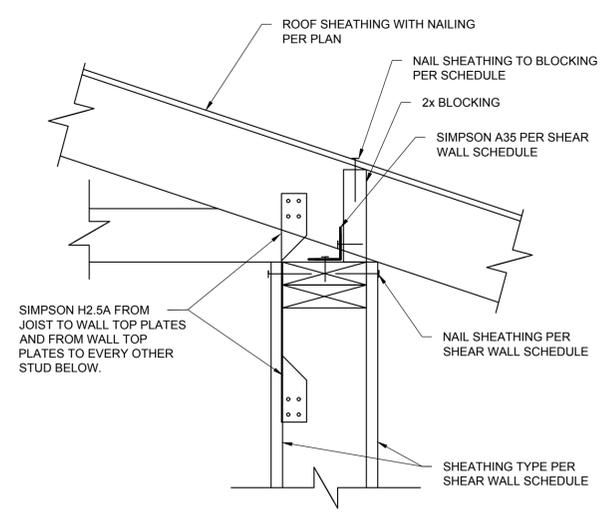
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STRUCTURAL ELEVATION

DRAWN BY: JMH
 APPROVED BY: JMH

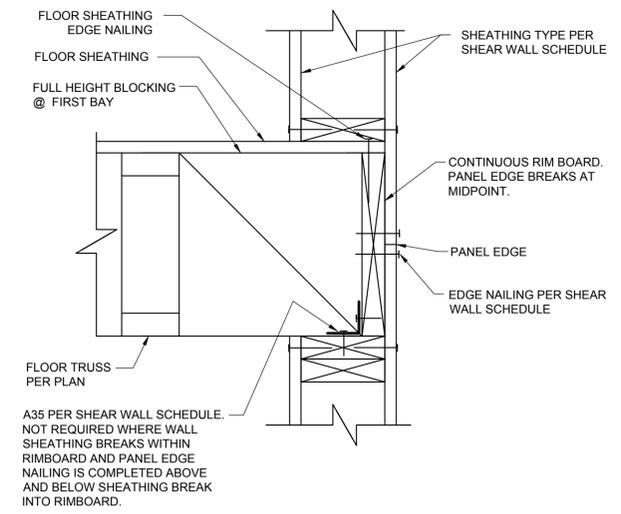
SHEET:

S3.2

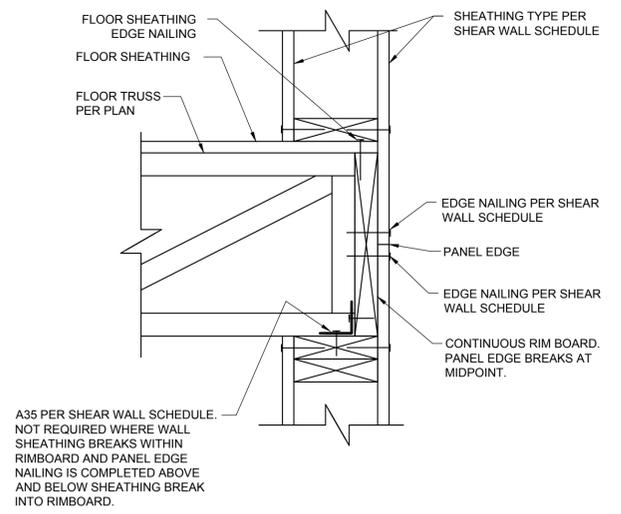
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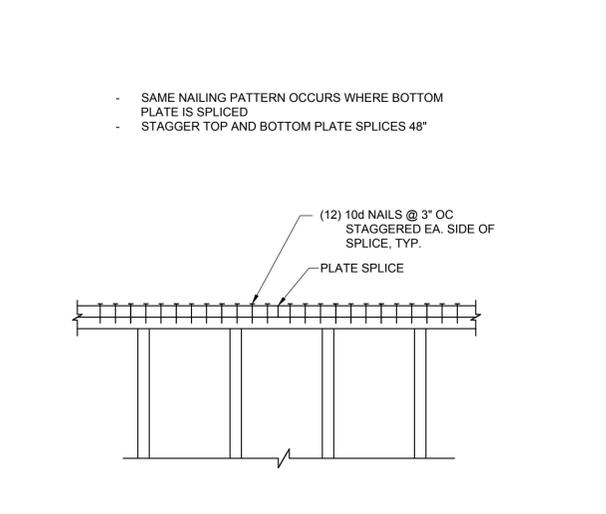
1 ROOF TRUSS TO TOP OF WALL
S4.1 NTS



2 FLOOR TO FLOOR SHEAR TRANSFER (PAR.)
S4.1 NTS



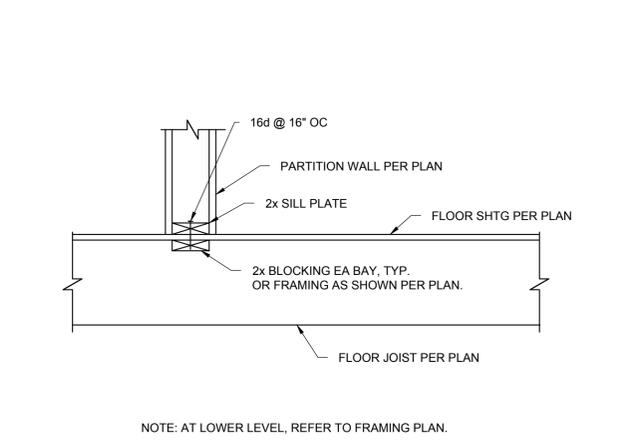
3 FLOOR TO FLOOR SHEAR TRANSFER (PERP.)
S4.1 NTS



4 TOP PLATE NAILING AT SPLICE
S4.1 NTS

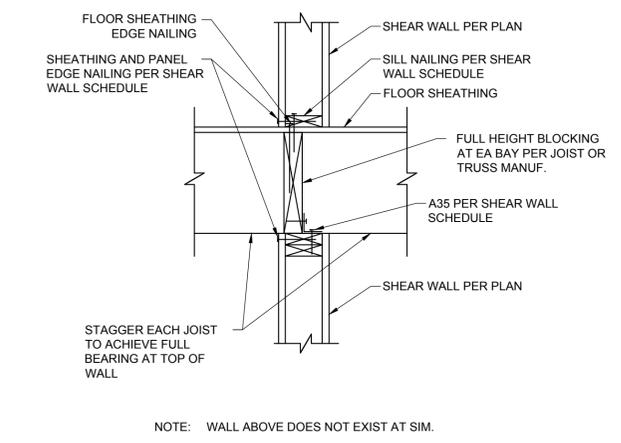
EXTERIOR WALL FRAMING

H (FT)	STUD SIZE	SPACING
10-15	2x6	16" OC
15-19	2x8	16" OC

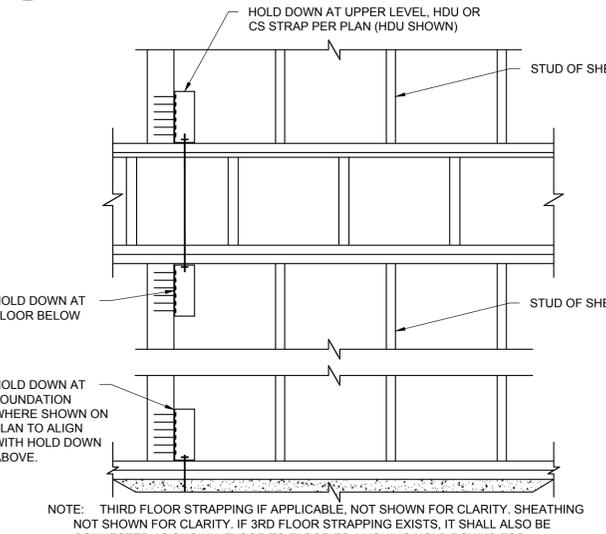


5 FRAMING AT TALL WALLS
S4.1 NTS

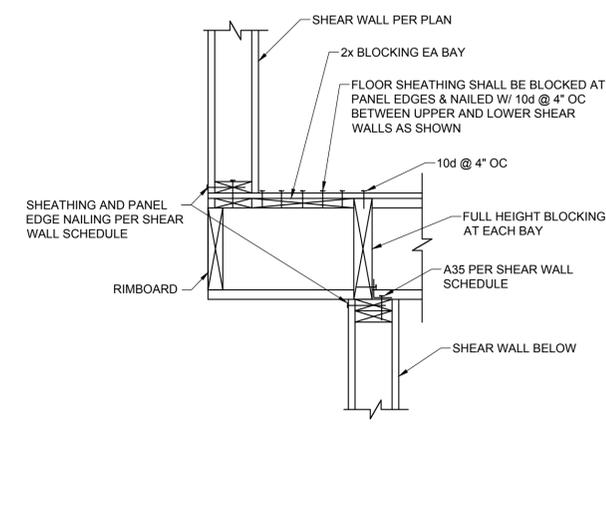
6 PARTITION WALL ON JOIST
S4.1 NTS



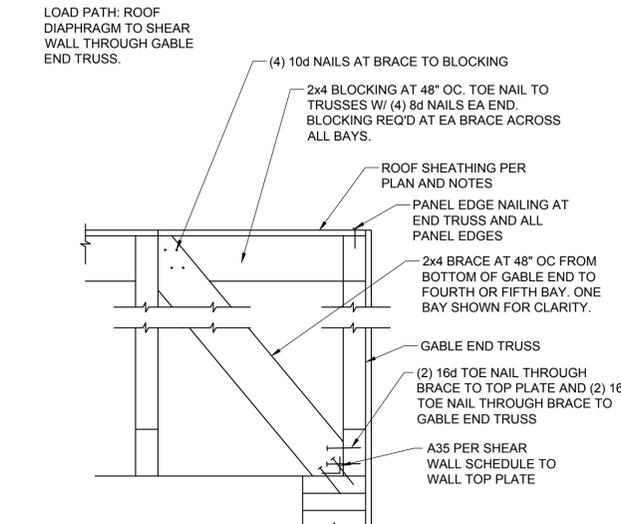
7 SHEAR TRANSFER FLOOR TO FLOOR
S4.1 NTS



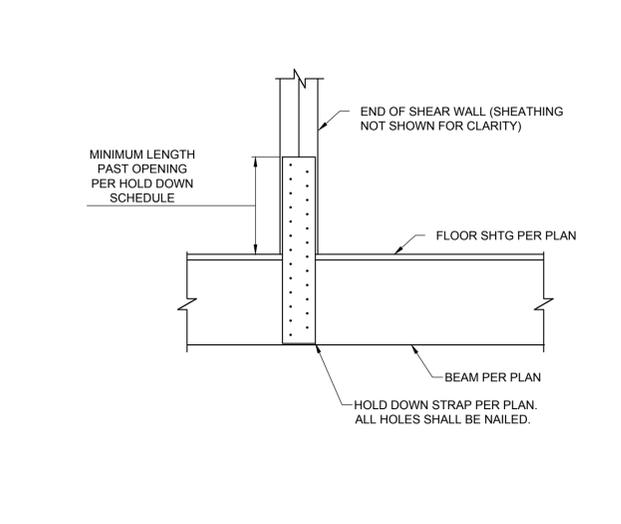
8 FLOOR-TO-FLOOR HOLD DOWNS
S4.1 NTS



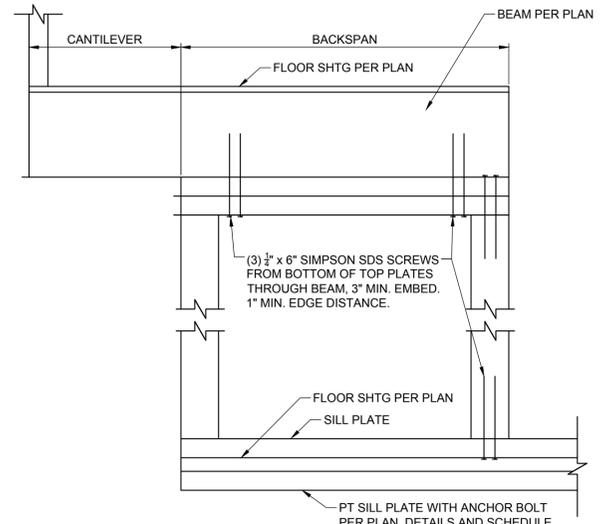
9 SHEAR TRANSFER AT OFFSET WALLS
S4.1 NTS



10 GABLE END TRUSS TO WALL CONNECTION
S4.1 N.T.S.



11 HOLD DOWN STRAP TO BEAM
S4.1 N.T.S.



12 CANTILEVER BEAM
S4.1 N.T.S.

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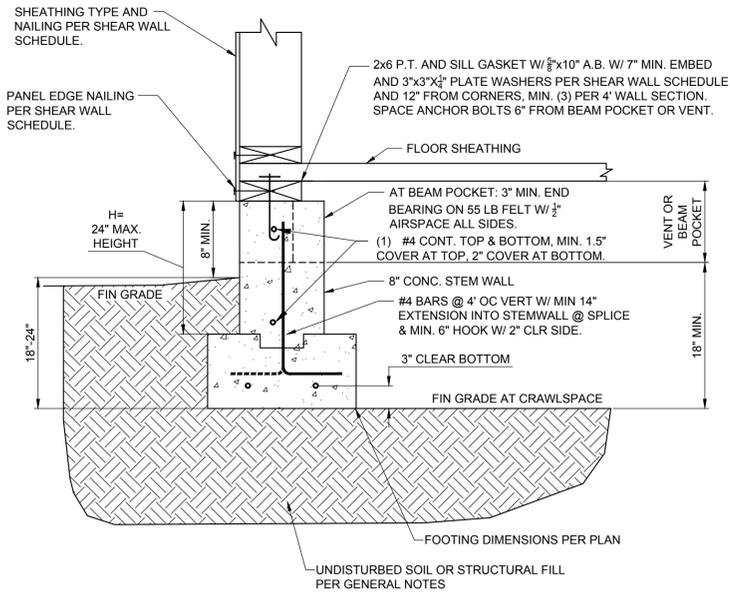
SHEET TITLE:
STRUCTURAL
DETAILS

DRAWN BY: JMH
APPROVED BY: JMH

SHEET:

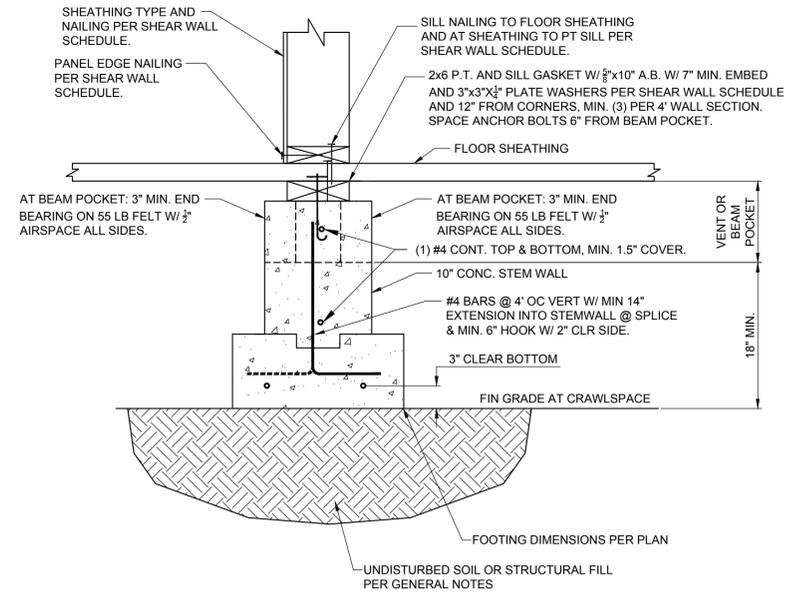
S4.1

JOB NO.:



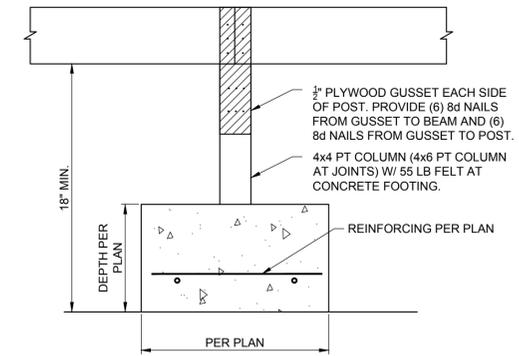
(PERPENDICULAR JOISTS SHOWN, PARALLEL JOIST CONDITION AT SIM)

1 EXTERIOR FOOTING (H < 24")
S4.2 NTS



(PERPENDICULAR JOISTS SHOWN, PARALLEL JOIST CONDITION AT SIM)

2 INTERIOR FOOTING
S4.2 NTS



NOTE: REBAR SHALL HAVE 3" CLEAR BOTTOM AND 2" CLEAR SIDES

3 SPOT FOOTING AT CRAWLSPACE
S4.2 NTS



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SHEET TITLE:
STRUCTURAL DETAILS

DRAWN BY: JMH
APPROVED BY: JMH

SHEET:

S4.2

JOB NO.:
24-026