

SITE INFO

PROPERTY OWNER

PROVISION INDUSTRIAL, LLC

1409 BROADWAY ST

VANCOUVER, WA, 98663

ATTN: VITALY SUKHANOV

F: (911) 408-9093

vitaly@provisiongroupllc.com

APPLICANT

WILSON ARCHITECTS, PLLC

ATTN: RYAN WILSON

404 E 15th ST, #7

VANCOUVER, WA, 98663

F: (360) 696-4722

F: (360) 696-0392

ryan@wilsonarchitects.us

PROPERTY ADDRESS:

T110 NE 43rd AVE.

TAX ID #:

149166000

LEGAL:

\*12 JOHN C DODD DLC 91A

ZONING:

IL

COMP PLAN:

I

PROJECT DESCRIPTION

THE PROJECT IS FOR CORE AND SHELL CONSTRUCTION ONLY OF A LIGHT INDUSTRIAL BUILDING.

LEGEND

LINE TYPE/HATCH PATTERNS

BATT INSULATION

RIGID INSULATION

FILL MATERIAL

CONCRETE

WALL SHADE

EARTH

PLYWOOD

GYP SUM

SYMBOL LEGEND

⊗

DOOR LABEL

⊗

WINDOW LABEL

⊗

EQUIPMENT LABEL

⊗

SECTION DETAIL

⊗

DETAIL MARKER

◇

WALL TYPE LABEL

ABBREVIATIONS

CL, F.O.S., F.G., WM, S.C., S.F., S.I., L.F., TYP, O/, NTS

CENTERLINE OF STUD  
FACE OF STUD  
FIBERGLASS  
HOLLOW METAL  
SOLID CORE  
SQUARE FOOT  
SQUARE INCH  
LINEAR FOOT  
TYPICAL  
OVER  
NOT TO SCALE

WRS, GLB, R.O., OH, SM, P.T., UNO, CLR

WEATHER RESISTIVE BARRIER  
GLUE-LAMINATED BEAM  
ROUGH OPENING  
OVERHEAD  
SHEET METAL  
PRESSURE TREATED  
UNLESS NOTED OTHERWISE  
CLEAR DIMENSION-FINISH FACE  
TO FINISH FACE

GENERAL NOTES

THE CONTRACTOR SHALL COMPLY WITH THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THESE REQUIREMENTS DURING CONSTRUCTION. WHERE THERE IS A CONFLICT BETWEEN A GENERAL NOTE AND THE PLANS, THE MORE RESTRICTIVE SHALL APPLY.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS AND CONDITIONS ON THE JOB AND MUST NOTIFY THE ARCHITECT OF ANY VARIATIONS FROM THESE DRAWINGS.

WILSON ARCHITECTS, PLLC, SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND AND LATERAL LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

THE PLANS ARE INTENDED ONLY FOR THE SITE AND LOCATION SHOWN ON THE PLANS. USE OF THESE PLANS ON OTHER SITES IS STRICTLY PROHIBITED. BUILDING THIS PLAN ON SITE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS MAY REQUIRE MODIFIED FOUNDATION AND FRAMING DETAILS. THE CONTRACTOR MUST REVIEW SPECIFIC SITE CONDITIONS WITH THIS OFFICE BEFORE CONSTRUCTION.

SECTION I - GOVERNING CODES

LAND USE:

CLARK COUNTY CODE

BUILDING:

2021 IBC WAC 51-50

MECHANICAL:

2021 IMC WAC 51-52

FUEL GAS:

2021 IFGC

PLUMBING:

2021 UPC WAC 51-56

ENERGY:

2021 USEC 51-11C

ELECTRICAL:

2020 NEC

FIRE:

2011 IFC WAC 51-54A/ASCE 7-10

ACCESSIBILITY:

ICC/ANSI A117.1-2017

SECTION II - CONST. DATA

TYPE OF CONST. (IBC 602.1)

II-B

OCCUPANCY:

F1/F2/S1/S2/B

FOLLOW THE MIXED-USE NON-SEPARATED PATHWAY IN 508.3

SPRINKLERED:

YES

BUILDING HEIGHT

ALLOWABLE HEIGHT

PROPOSED HEIGHT

75'-0"

19'-6"

BUILDING STORIES (F1 IS MOST RESTRICTIVE)

ALLOWABLE STORIES

PROPOSED NUMBER OF STORIES

3

1

BUILDING AREA (F1 IS MOST RESTRICTIVE)

MAXIMUM ALLOWABLE AREA (A0)

PROPOSED AREA

62,000

7,118 SF.

NOTE:

BUILDING HEIGHTS AND AREAS ARE ALLOWED WITHOUT MODIFICATION.

SECTION III - OCCUPANCY. DATA

OCCUPANCY CLASSIFICATIONS OF BLDG:

F1/F2/S1/S2/B

NOTE - THERE IS CURRENTLY NO TENANT PROPOSED FOR THIS BUILDING SO ALL OCCUPANCIES ARE ASSUMED BASED ON ALLOWED USES IN THE IL ZONE. OCCUPANCY PERMITS WILL BE APPLIED FOR UNDER SEPARATE TENANT IMPROVEMENT PERMIT APPLICATIONS.

ASSUMED FUNCTION OF SPACE:

INDUSTRIAL AREAS

OFFICE AREAS

ASSUMED OCCUPANT LOAD (SEE SHEET A2):

78

SECTION V - FIRE RESISTANCE

FIRE RESISTANCE RATING BY CONST. TYPE:

STRUCTURAL FRAME

BEARING WALLS - EXT.

BEARING WALLS - INT

NON-BEARING WALLS - EXT

NON-BEARING WALLS - INT

FLOOR CONSTRUCTION (INCL. BEAMS AND JOISTS)

ROOF CONSTRUCTION (INCL. BEAMS AND JOISTS)

0 HRS

0 HRS

0 HRS

0 HRS

0 HRS

0 HRS

FIRE RESISTANCE RATING BY SEPARATION DISTANCE

LESS THAN 5'-0"

OVER 10'-0"

2-HRS

0-HRS

SECTION VI - EXITING

EXITS PER FLOOR:

REQUIRED

PROVIDED

FLOOR 1

2

1

ROOMS OR AREAS REQUIRING MORE THAN ONE EXIT: NONE

EXIT WIDTH REQUIRED PER FLOOR (1005):

FLOOR

OCCUPANTS

FACTOR

REQ'D

PROVIDED

FLOOR 1

78

0.20

15.6

252

EXIT TRAVEL DIST. (1017.2):

250 FT.

COMMON PATH OF EGRESS TRAVEL (1006.2.1)

100 FT

SECTION VII - FIRE DETECTION

SPRINKLER SYSTEM REQUIRED:

SPRINKLER SYSTEM PROVIDED:

SMOKE/FIRE DETECTION PROVIDED:

TYPE OF SPRINKLER SYSTEM PROVIDED:

FIRE DEPT. VEHICULAR ACCESSES PROVIDED

FIRE EXTINGUISHERS

UNDETERMINED

YES

YES

NFPA 13

YES

SEE FLS PLAN

SECTION VIII - VENTILATION

THE PROJECT COMPLIES WITH IMC SECTION 402 FOR NATURAL VENTILATION.

FLOOR AREA:

NATURAL VENTILATION REQUIRED:

OH DOORS:

7,118 SF.

7,118 X 0.04 = 308.7 SF.

(7) 10'X12' DOORS = 840 SF. OF OPENABLE AREA

THE PROJECT OPENABLE DOOR AREA EXCEEDS THE MINIMUM REQUIREMENT FOR NATURAL VENTILATION.

SECTION IX - ENERGY CODE

COMPLIANCE PATH

CLIMATE ZONE:

OPTION 1

4C

BUILDING ENVELOPE REQ'S:

THE BUILDING IS AN UNCONDITIONED BUILDING. NO INSULATION PROVIDED.

OPTIONAL THERMAL PROVISIONS FOR FUTURE TENANT FLEXIBILITY:

OPAQUE DOORS

SWINGING (LESS THAN 50% GL)

GLAZING REQUIREMENTS (0-30% OF WALL AREA):

VERTICAL

METAL FIXED U-FACTOR

ENTRANCE DOORS

SHGC - FIXED

FF LESS THAN 0.2

U-0.31

U-0.34

U-0.60

0.38

ADDITIONAL EFFICIENCY CREDITS (C406.1)

CREDITS REQUIRED:

CREDITS ACHIEVED:

10.20% REDUCED LIGHTING POWER

50% OF 49 = 25

29 PTS

ADDITIONAL LOAD MANAGEMENT CREDITS

NOT REQUIRED FOR UNCONDITIONED SPACES.

RENEWABLE ENERGY

RENEWABLE ENERGY REQUIRED:

NO

SOLAR READINESS:

7,118 X 0.40 = 3,087 SF. OF SOLAR READY ROOF AREA.

VESTIBULE REQUIRED:

ENCLOSURE TESTING:

NO

NOT REQUIRED

FENESTRATION NOTES

1) U-FACTORS FOR GLAZING AND DOORS SHALL BE DETERMINED, CERTIFIED AND LABELED IN ACCORDANCE WITH STANDARD RS-31 BY A CERTIFIED INDEPENDENT AGENCY LICENSED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC). PRODUCT SAMPLES USED FOR U-FACTOR DETERMINATIONS SHALL BE PRODUCTION LINE UNITS OR REPRESENTATIVE OF UNITS AS PURCHASED BY THE CONSUMER OR CONTRACTOR.

2) SOLAR HEAT GAIN COEFFICIENTS (SHGC) SHALL BE DETERMINED, CERTIFIED AND LABELED IN ACCORDANCE WITH THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) STANDARD BY A CERTIFIED, INDEPENDENT AGENCY LICENSED BY THE NFRC.

SECTION XII - PLUMBING

THE CURRENT PROPOSAL IS FOR CORE AND SHELL ONLY. NO OCCUPANCY PERMIT IS INCLUDED WITH THIS APPLICATION. PLUMBING FIXTURE CALCULATIONS WILL BE COMPLETED WITH TENANT IMPROVEMENT PERMIT APPLICATIONS FOR OCCUPANCY.

SECTION XIV - SPECIAL INSPECTIONS, STRUCTURAL OBSERVATION AND DEFERRED SUBMITTALS

SPECIAL INSPECTIONS:

REQUIRED

SEE STRUCTURAL PLANS FOR SPECIAL INSPECTION REQUIREMENTS

STRUCTURAL OBSERVATION:

NOT REQUIRED

ARCHITECTURAL OBSERVATION:

NOT REQUIRED

DEFERRED SUBMITTAL ITEMS:

NONE

SEPARATE PERMITS REQUIRED:

FIRE SPRINKLER PLANS

CONTENTS

ARCHITECTURAL

CODE SUMMARY

FLS PLAN AND SITE PLAN

PLANS

SECTIONS AND DETAILS

ELEVATIONS

A1

A2

A3

A4

A5

CLARK COUNTY, WASHINGTON

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH COUNTY CODE AND STANDARDS AND ARE

APPROVED

THE APPROVAL OF THESE PLANS BY CLARK COUNTY DOES NOT AUTHORIZE ANY NONCOMPLIANCE WITH LOCAL ORDINANCE, CODE OR STATE LAW

ACCESS TO THE APPROVED PLANS SHALL BE PROVIDED ON SITE FOR INSPECTIONS

CMN-2022-00353

9/16/2024

WILSON ARCHITECTS, PLLC

404 E 15th ST. #7

VANCOUVER, WA.

98663

(360) 696-4722

11895

REGISTERED ARCHITECT

RYAN WILSON

STATE OF WASHINGTON

CMN-2022-00353: 43rd Avenue Light Industrial South Bldg

Owner / applicant

Address

7110 NE 43RD AVE, VANCOUVER, WA 98661

Occ. Class

F1

Sprinklers

yes

Type constr

II-B

Basic area allowed

62,000

Yards

Frontage

Stories

Fire partitions

Party walls

Height

Ratio 1:10

Size ft²

See LMS

Fire barriers(s)

Parapet required

Corridors

Fire walls(s)

Occ. Load

78

Exits

7 provided

This building is not insulated. The new tenant is responsible for providing Insulation even for semi-heated spaces.

43RD STREET COMMERCIAL SOUTH BUILDING 7110 NE 43RD STREET VANCOUVER, WA. 98661 PERMIT SET

ACCESSIBILITY PER IBC CHAPTER 11 AND WAC 51-50

Separate plumbing permit required

Separate mechanical permit required

Separate plans and permit required for each tenant space

All new TI are reviewed as new for all current codes at the time of application

Approved plans shall not be changed, modified or altered without authorization from the building official and all work shall be done in accordance with the approved plans.

Approved plans to be on site during inspections.

The issuance of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of this code or of any other ordinance of the jurisdiction.

A1

CODE SUMMARY

SDW







4'-0" x 4'-0" ALUMINUM STOREFRONT WINDOW, FIXED.  
U-0.31 MAX  
SHGC - 0.38 MAX  
COORDINATE FRAME COLOR WITH OWNER.



| RENEWABLE ENERGY                      |            |
|---------------------------------------|------------|
| GROSS ROOF AREA:                      | 7,718 S.F. |
| SOLAR READINESS:                      |            |
| ROOF AREA:                            | 7,718 S.F. |
| SOLAR READINESS AREA (7,718 X 0.40) = | 3,087 S.F. |

CLARK COUNTY, WASHINGTON

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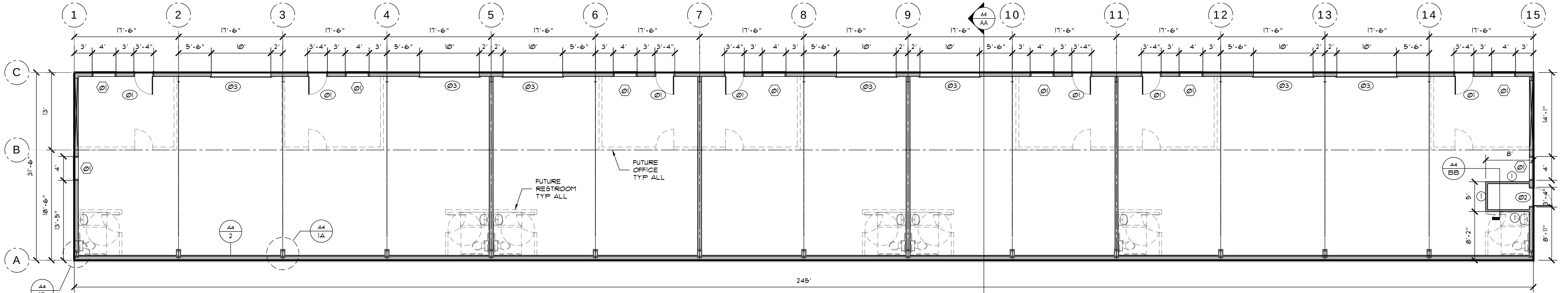
CMN-2022-00353

9/16/2024

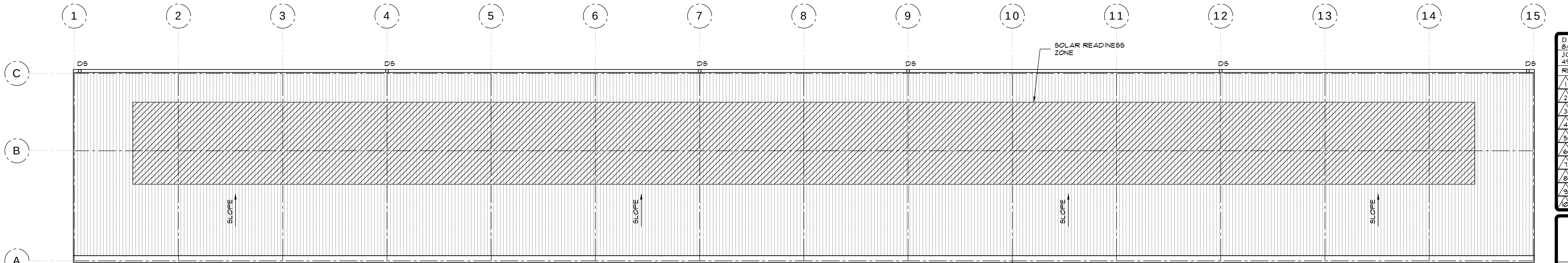
WILSON ARCHITECTS, PLLC  
404 E 15th ST. #7  
Vancouver, Wa.  
98663  
(360) 696-4722

11895 REGISTERED ARCHITECT

RYAN C WILSON  
STATE OF WASHINGTON



FLOOR PLAN  
SCALE: 1/8" = 1'-0"



ROOF PLAN  
SCALE: 1/8" = 1'-0"

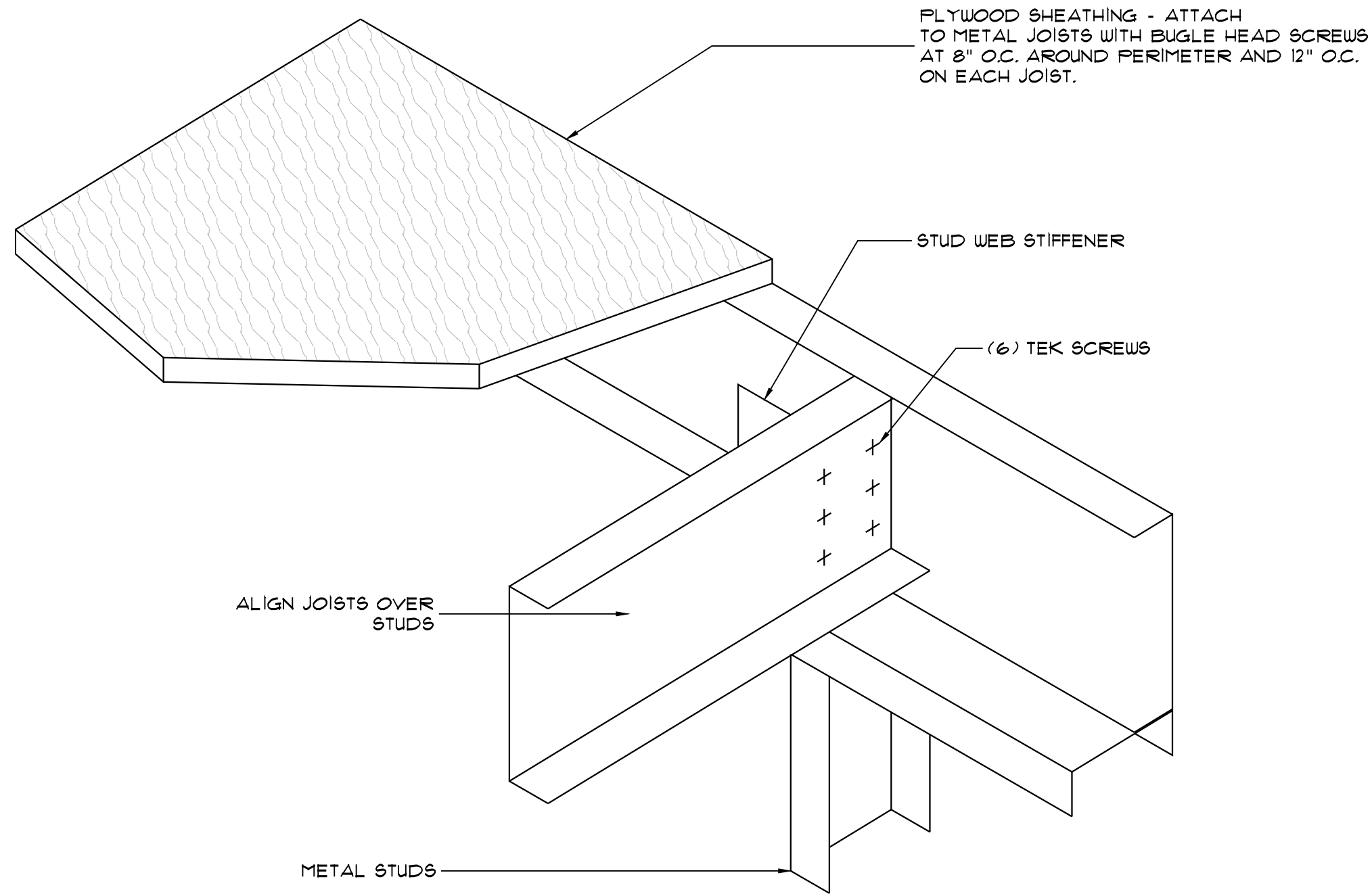
43rd STREET COMMERCIAL  
SOUTH BUILDING  
7110 NE 43rd STREET  
VANCOUVER, WA. 98661  
PERMIT SET

| DATE       | SCALE    |
|------------|----------|
| 8/2/2024   | VARIES   |
| JOB NO.    | DRAWN BY |
| 4924       | RYAN     |
| REVISIONS: |          |
| 1          |          |
| 2          |          |
| 3          |          |
| 4          |          |
| 5          |          |
| 6          |          |
| 7          |          |
| 8          |          |
| 9          |          |
| 10         |          |

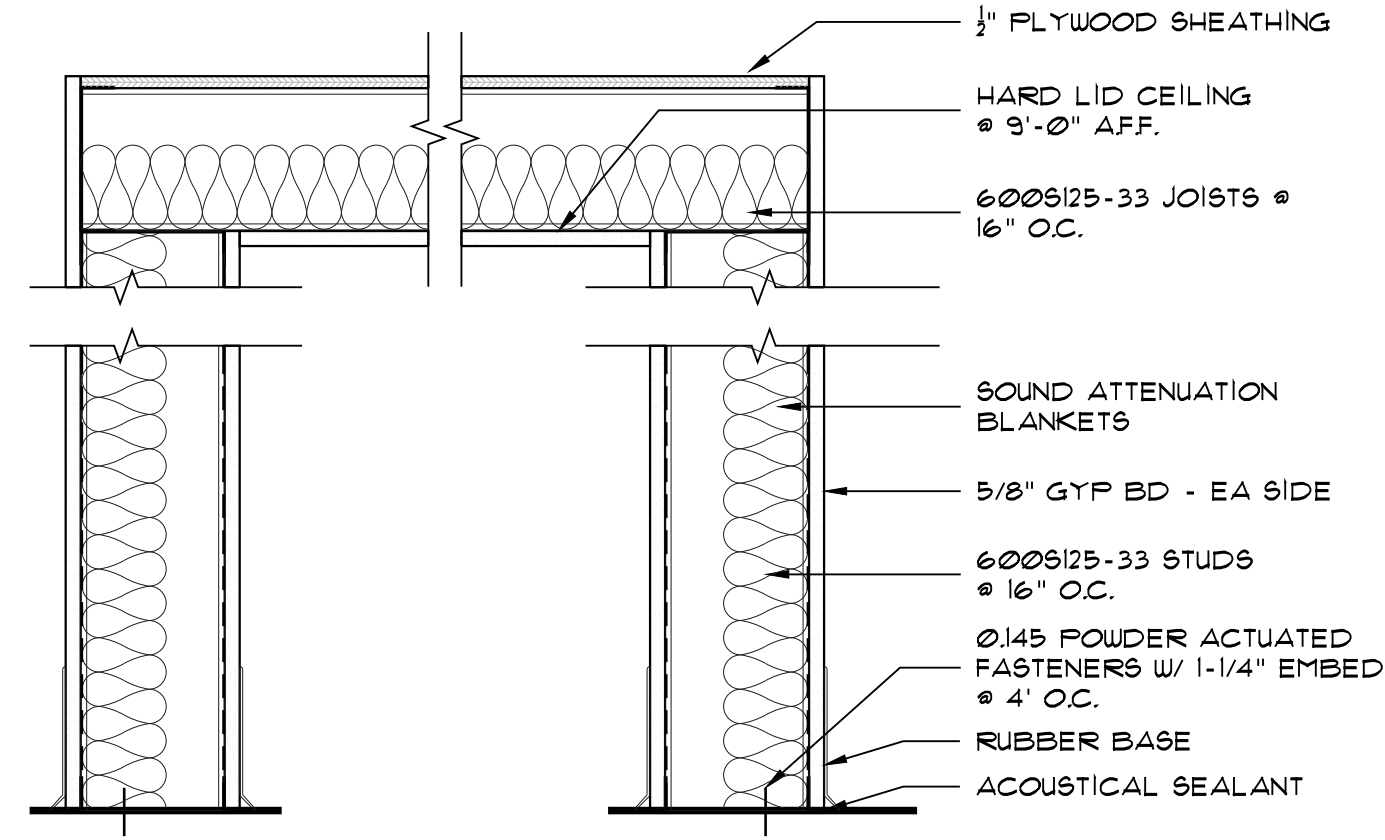
A3  
PLANS



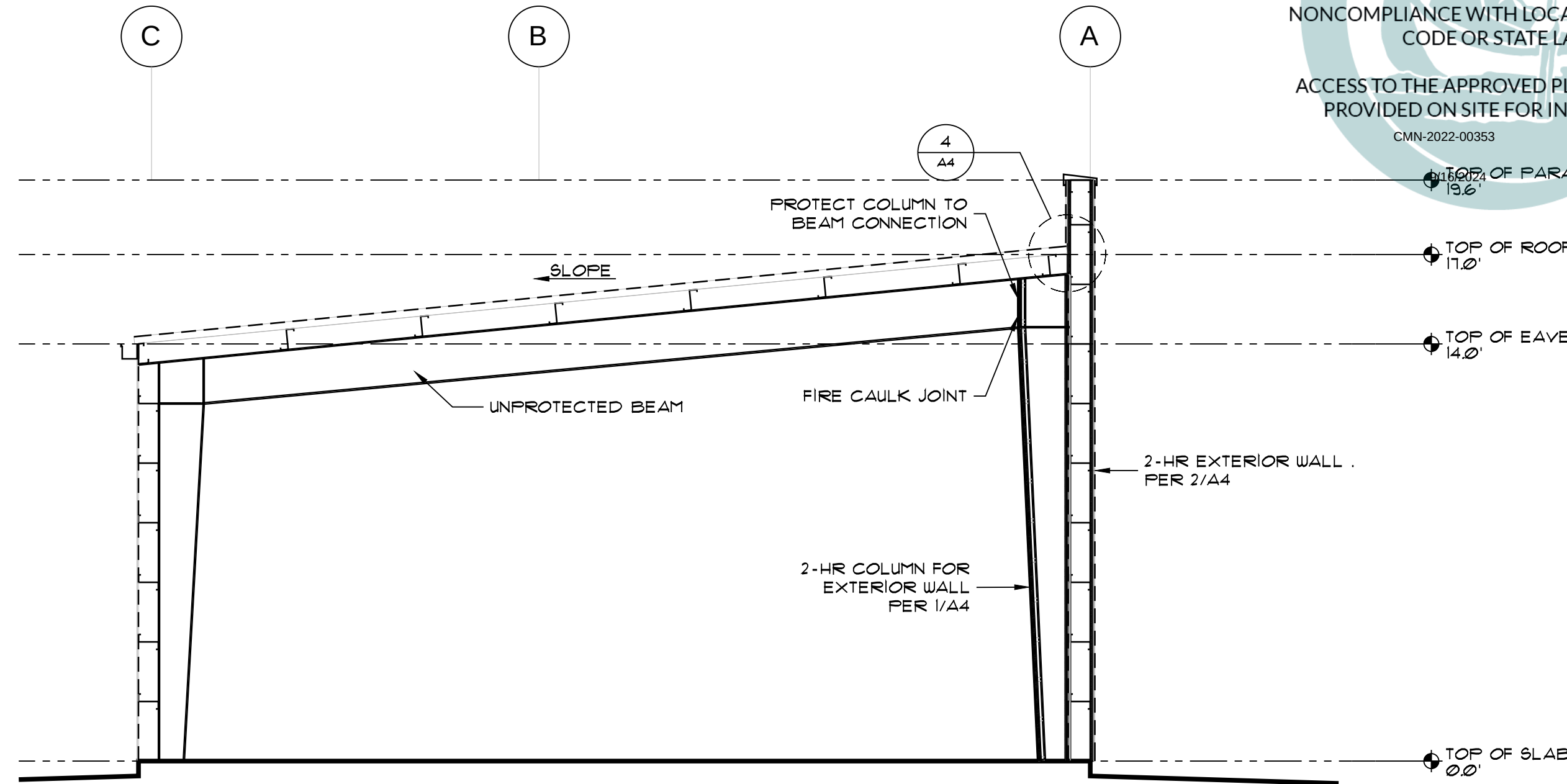




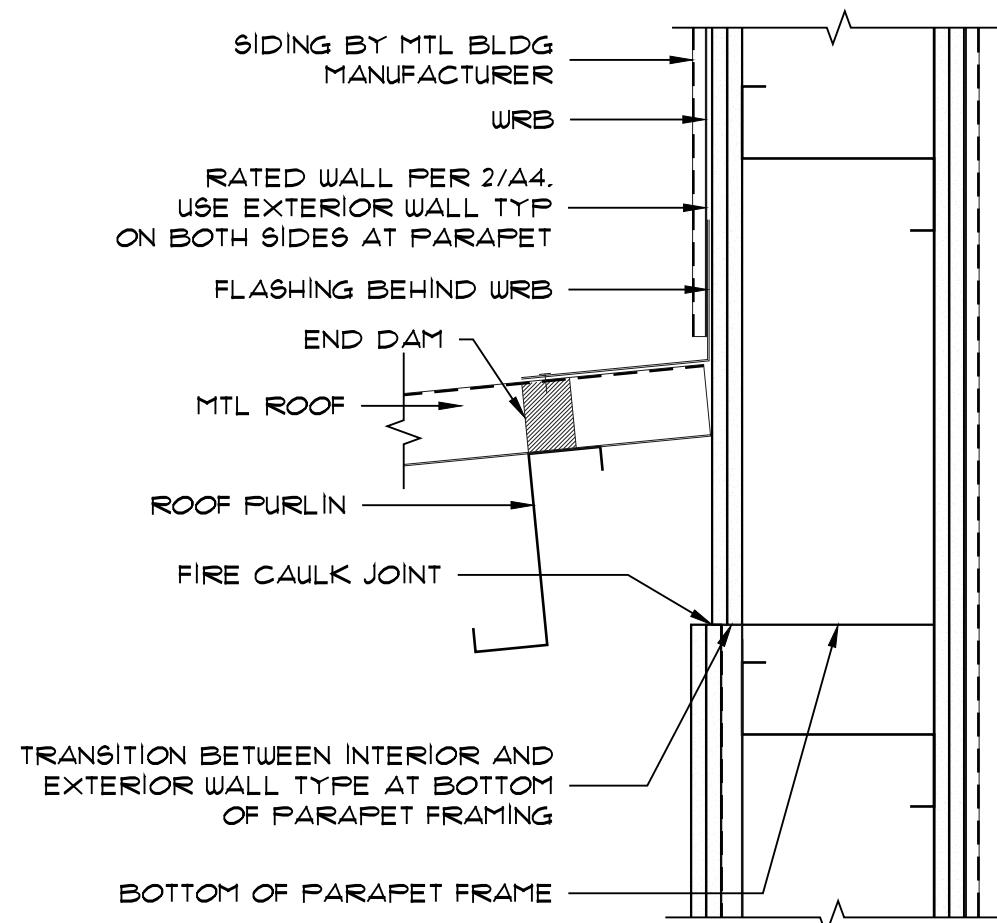
3 METAL FRAMING ISOMETRIC  
SCALE: 3" = 1'-0"



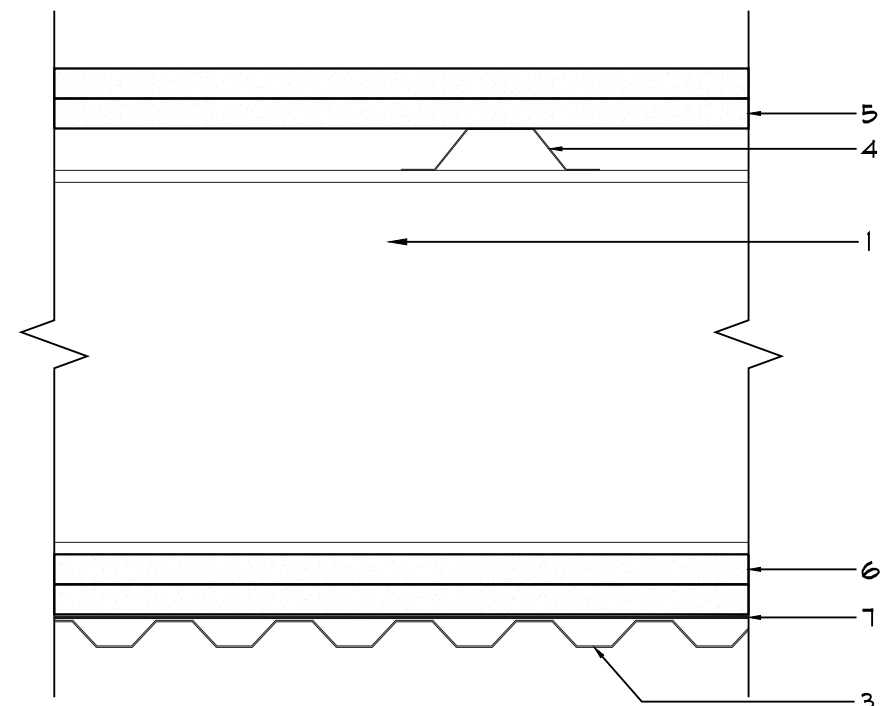
BB RISER ROOM SECTION  
SCALE: 1-1/2" = 1'-0"



AA SECTION  
SCALE: 1/4" = 1'-0"



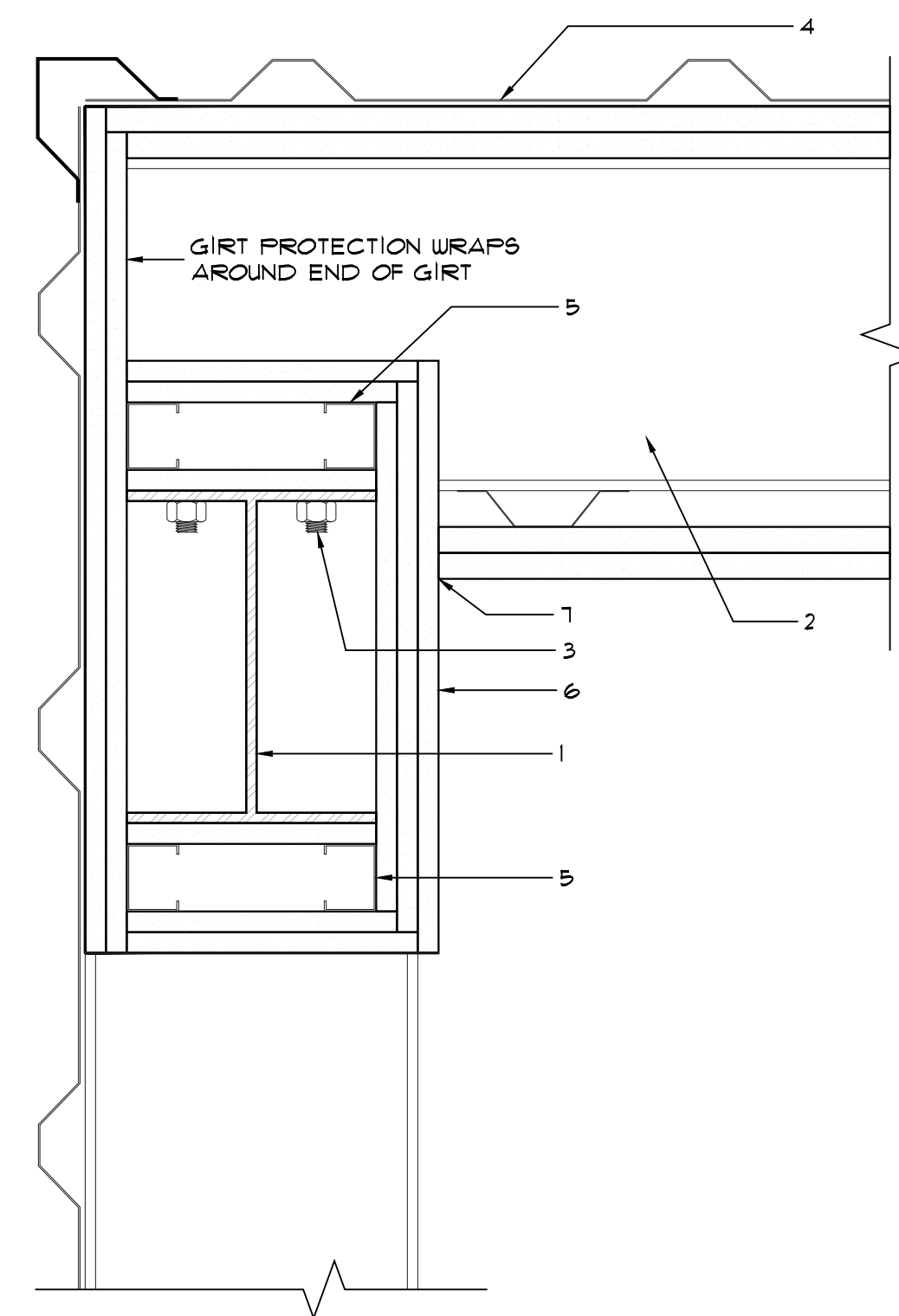
4 ROOF TO PARAPET TRANSITION  
SCALE: 1-1/2" = 1'-0"



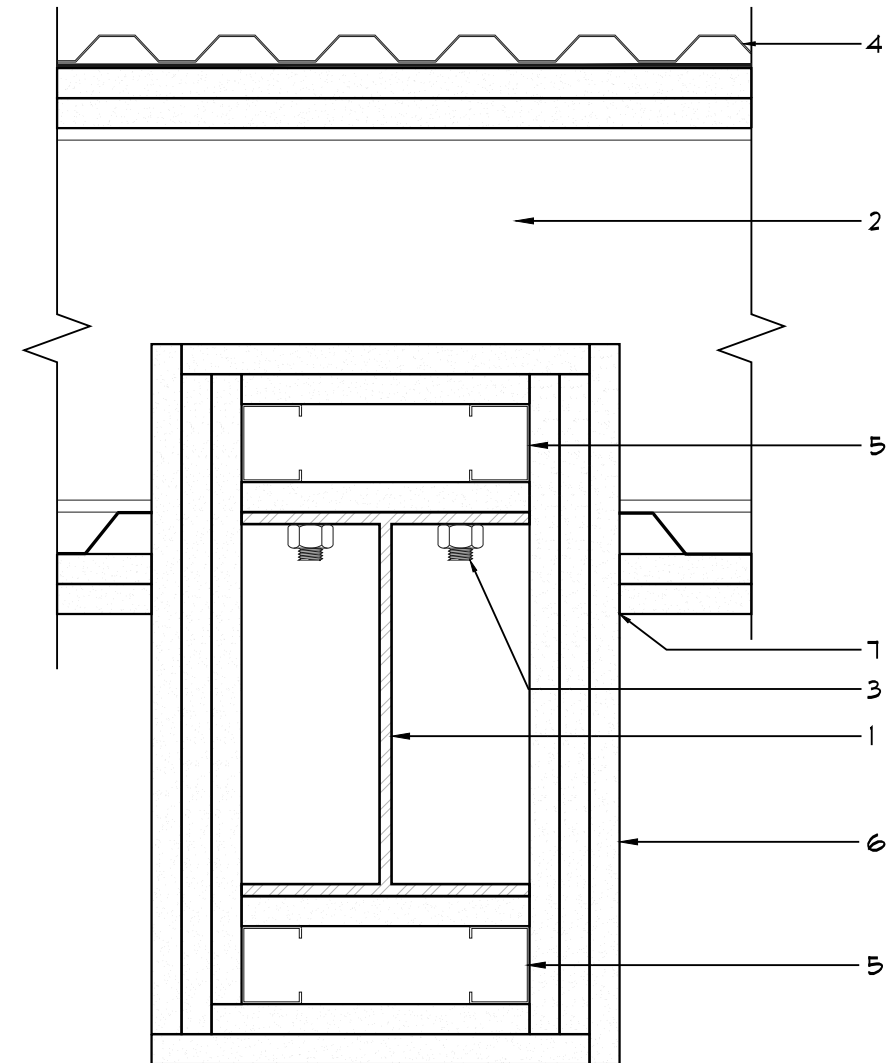
1. "Z" OR "C" SHAPED GIRTS PLACED HORIZONTALLY AND SPACED 48" O.C. MAX. GIRTS ARE SECURED TO COLUMNS WITH GIRT CLIPS.
2. GIRT CLIPS (NOT SHOWN)
3. STEEL WALL PANELS BY METAL BUILDING MANUFACTURER.
4. HAT SHAPED FURRING CHANNEL 2-5/8" X 3/4" @ 24" O.C. PERPENDICULAR TO THE GIRTS. FASTEN WITH 3/8" SELF-DRILLING PAN HEAD SHEET STEEL SCREWS, (2) SCREWS AT EACH, ONE ON EACH LEG.
5. (2) LAYERS OF 5/8" TYPE X GYPSUM BOARD. FIRST LAYER ATTACHED TO FURRING CHANNELS USING 1" TYPE S DRYWALL SCREWS @ 24" O.C. VERTICALLY AND HORIZONTALLY. SECOND LAYER ATTACHED TO FURRING CHANNELS USING 1-5/8" TYPE S DRYWALL SCREWS @ 12" O.C. VERTICALLY AND 24" O.C. HORIZONTALLY.
6. (2) LAYERS OF 5/8" TYPE X EXTERIOR RATED GYPSUM BOARD. FIRST LAYER ATTACHED TO GIRTS USING 1-1/4" LONG SELF-DRILLING SHEET STEEL DRYWALL SCREWS @ 8" O.C. HORIZONTALLY. SECOND LAYER ATTACHED TO GIRTS USING 1-5/8" LONG SELF-DRILLING SHEET STEEL DRYWALL SCREWS @ 8" O.C. HORIZONTALLY. OFFSET HORIZONTAL OR VERTICAL JOINTS 24".

2-HOUR ASSEMBLY PER UL DESIGN NO V421

2 RATED EXTERIOR WALL ASSEMBLY  
SCALE: 3" = 1'-0"



1B COLUMN AT CORNER  
SCALE: 3" = 1'-0"



1A COLUMN AT EXT WALL  
SCALE: 3" = 1'-0"

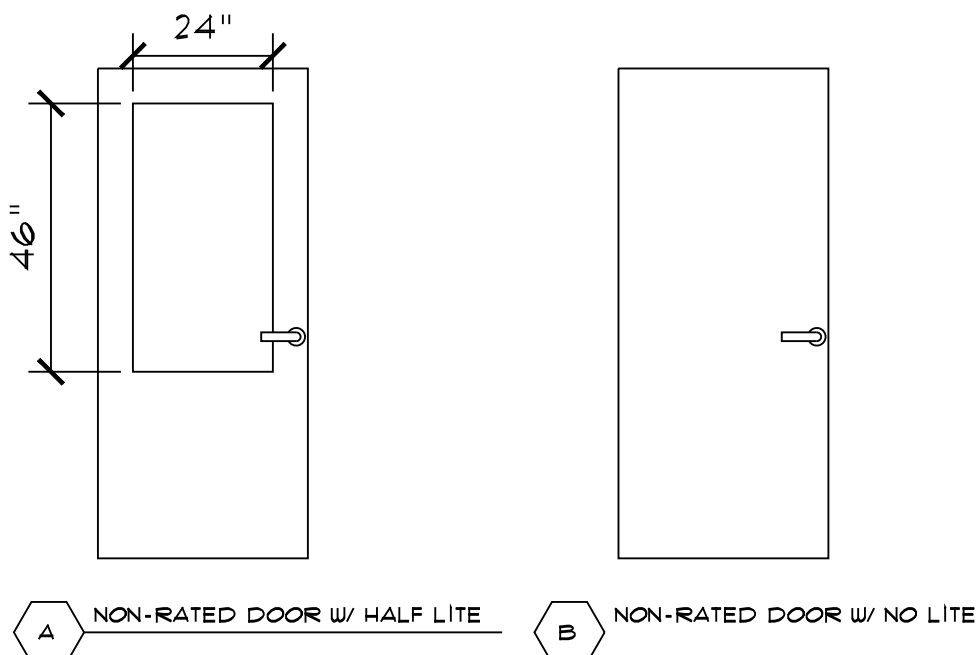
1. STEEL COLUMN BY METAL BUILDING MANUFACTURER
2. GIRTS. SEE 2/A4 FOR RATED GIRT PROTECTION.
3. GIRT CLIPS BY METAL BUILDING MANUFACTURER.
4. STEEL WALL PANELS BY METAL BUILDING MANUFACTURER.
5. METAL STUDS. 1625138-18 METAL STUDS AND 1/2" STIFFENING FLANGES. STUDS CUT 1/4" TO 3/4" LESS IN LENGTH THAN THE COLUMN HEIGHT.
6. GYPSUM BOARD: (3) LAYERS OF 1/2" TYPE C GYPSUM BOARD, APPLIED VERTICALLY, ATTACHED TO WALLBOARD STUDS WITH STEEL SCREWS AT 12" O.C. STAGGER HORIZONTAL JOINTS 30" O.C. WITH SCREWS LOCATED 1" FROM THE JOINT.

2-HOUR ASSEMBLY PER UL DESIGN NO X524

1 RATED COLUMN ASSEMBLY  
SCALE: 3" = 1'-0"

| DOOR AND FRAME SCHEDULE |       |        |        |       |         |      |            |                   |          |            |         |
|-------------------------|-------|--------|--------|-------|---------|------|------------|-------------------|----------|------------|---------|
| DOOR                    |       |        |        |       |         | TYPE | FRAME MATL | FIRE RATING LABEL | HARDWARE |            | NOTES   |
| MARK                    | SIZE  |        |        | MATL  | GLAZING |      |            |                   | SET NO   | KEYSIDE RM |         |
|                         | WD    | HGT    | THK    |       |         |      |            |                   |          |            |         |
| 001                     | 3'-0" | 7'-0"  | 1-3/4" | H.M.  | 1/2     | A    | H.M.       | -                 | 01       | EXTERIOR   | 1, 2, 3 |
| 002                     | 3'-0" | 7'-0"  | 1-3/4" | H.M.  | -       | B    | H.M.       | -                 | 02       | EXTERIOR   | 2, 3    |
| 003                     | 0'-0" | 12'-0" | 1-1/4" | STEEL | -       | -    | STEEL      | -                 | 03       | -          |         |

1. U-0.37
2. COORDINATE KEYING AND ACCESS CONTROL WITH OWNER.
3. COORDINATE HARDWARE STYLE AND FINISHES AND WITH OWNER.



HARDWARE SET 01  
EACH SET TO HAVE  
3 EA HINGE  
1 EA ENTRY LATCH  
1 EA SURF CLOSER  
1 EA FLOOR STOP  
1 EA RAIN DRIP  
1 SET PERIMETER SEALS

4.5 X 4.5

HARDWARE SET 02  
EACH SET TO HAVE  
3 EA HINGE  
1 EA STORAGE LOCK  
1 EA SURF CLOSER  
1 EA WALL STOP  
1 EA RAIN DRIP  
1 SET PERIMETER SEALS

4.5 X 4.5

HARDWARE SET 03  
EACH SET TO HAVE  
1 SET DOOR TRACK  
1 EA CHAIN PULL  
1 EA TRACK LOCK  
1 EA BOTTOM SEAL

11895 REGISTERED ARCHITECT  
RYAN C WILSON  
STATE OF WASHINGTON

431d STREET COMMERCIAL  
SOUTH BUILDING  
7110 NE 43rd STREET  
VANCOUVER, WA. 98661  
PERMIT SET

| DATE       | SCALE     |
|------------|-----------|
| 8/21/2024  | VARIABLES |
| JOB NO.    | DRAWN BY  |
| 4324       | RYAN      |
| REVISIONS: |           |
| 1          |           |
| 2          |           |
| 3          |           |
| 4          |           |
| 5          |           |
| 6          |           |
| 7          |           |
| 8          |           |
| 9          |           |
| 10         |           |

A4  
SECTIONS  
SCHEDULES



CLARK COUNTY, WASHINGTON

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APPROVED

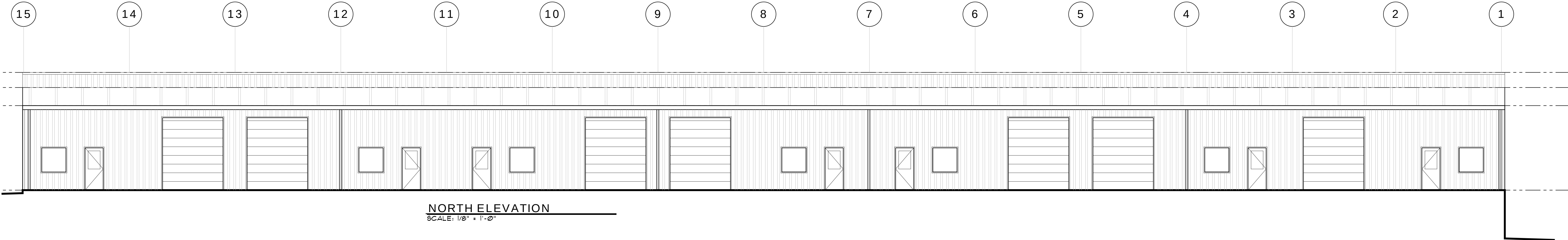
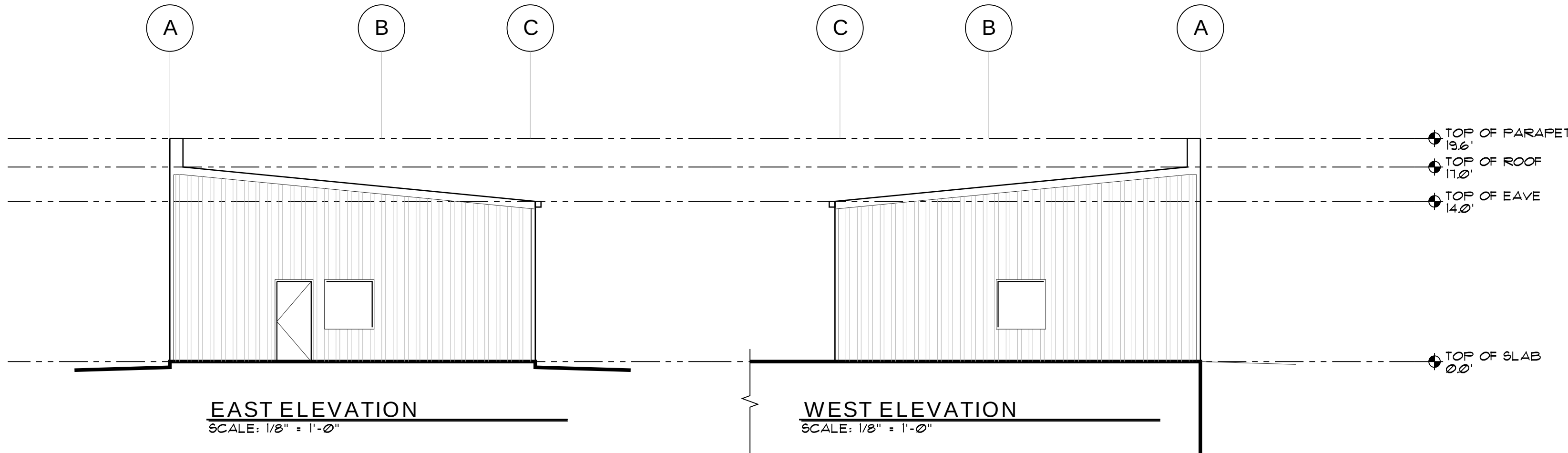
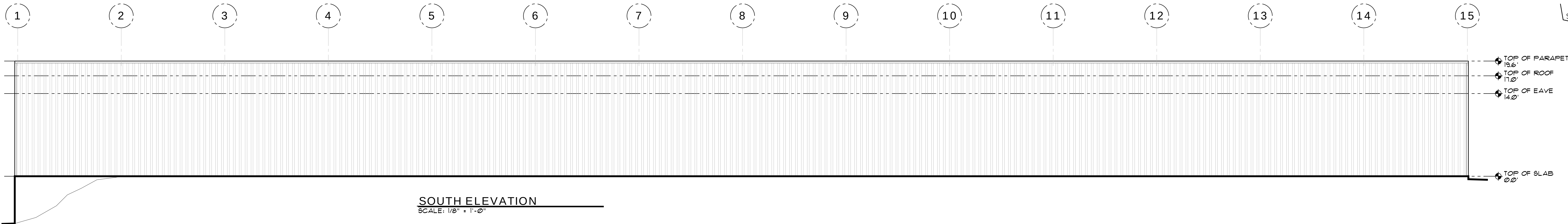
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CMN-2022-00353

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43rd STREET COMMERCIAL  
SOUTH BUILDING  
7110 NE 43rd STREET  
VANCOUVER, WA. 98661  
PERMIT SET

| DATE       | SCALE      |
|------------|------------|
| 8/21/2024  | 1/8"=1'-0" |
| JOB NO.    | DRAWN BY   |
| 4924       | RYAN       |
| REVISIONS: |            |
| 1          |            |
| 2          |            |
| 3          |            |
| 4          |            |
| 5          |            |
| 6          |            |
| 7          |            |
| 8          |            |
| 9          |            |
| 10         |            |

A5  
ELEV6





